



100 38TH STREET

100 38TH STREET
RICHMOND, CA 94805

PROJECT TEAM

■ **ARCHITECT:**
BAR ARCHITECTS
77 GEARY STREET, SUITE 200
SAN FRANCISCO, CA 94108
TEL: 415.293.5700
CONTACT: WILLIAM DUNCANSON
EMAIL: WDUNCANSON@BARARCH.COM

■ **OWNER:**
EDEN HOUSING INC.
22845 GRAND STREET
HAYWARD, CA 94541
TEL: 510.247.8180
CONTACT: MATT SCHREIBER
EMAIL: MATT.SCHREIBER@EDENHOUSING.ORG

■ **OWNER:**
COMMUNITY HOUSING DEVELOPMENT CORP.
1535 FRED JACKSON WAY
RICHMOND, CA 94801
TEL: 510.412.9290
CONTACT: NORMA THOMPSON
EMAIL: NTHOMPSON@COMMUNITYHDC.ORG

■ **CIVIL:**
CBG
2633 CAMINO RAMON, SUITE 350
SAN RAMON, CA 94583
TEL: 925.866.0322
CONTACT: RYAN HANSEN
EMAIL: RHANSEN@CBANDG.COM

■ **LANDSCAPE:**
JETT LANDSCAPE ARCHITECTURE + DESIGN
2 ORINDA THEATRE SQUARE #216
ORINDA, CA 94563
TEL: 925.484.0211
CONTACT: BRUCE JETT
EMAIL: BRUCE@JETT.LAND

■ **STRUCTURAL:**
TIPPING STRUCTURAL ENGINEERS
1906 SHATTUCK AVE
BERKELEY, CA 94704
TEL: 510.412.9290
CONTACT: MARC STEYER
EMAIL: M.STEYER@TIPPINGSTRUCTURAL.COM

ZONING ANALYSIS

100 38th Street, Richmond, CA

Parcel	2.64 ac
Zoning	PCI
FAR	1.0
Max Height	45'

Per general plan: Public, Cultural, and Institutional (Surrounded by Medium Intensity Mixed-Use (commercial emphasis))

General Plan Medium Intensity Mixed-Use (Commercial Emphasis)

	PARCEL	COMBINED	BUILDING A (SUPPORTIVE HSMG) (65,212 SF (1.97 AC))	BUILDING B (FAMILY) (38,488 SF (1.1 AC))	MODIFICATIONS UNDER STATE DENSITY BONUS LAW
Density	up to 50 du/ac	173,710 SF	30 du/ac	83 du/ac	
Intensity	D.5-2.0 FAR	1.14	0.61	2.32	
Height	15-55 feet		28' - 0"	57' - 7"	INCREASE HEIGHT LIMITATION FROM 55' TO 57'-7"

Richmond Livable Corridors - Form Based Code TAMS

Richmond Zoning Ordinance

CM-3	Commercial Mixed Use		15'-LIMITS TOTAL	50 UNITS	75 UNITS	MODIFICATIONS UNDER STATE DENSITY BONUS LAW
Density	15 min 150 max du/ac	50 x 284 = 142				
FAR	123,710 x 2 = 247,420		175,437 SF TOTAL			
Setback	Subject to RM2 Front - 10 Side 5, then 10 above L2		PROVIDED			
Height	Max 55, 35 within 50' res district			28'	57' - 7"	INCREASE HEIGHT LIMITATION FROM 55' TO 57'-7"
Max Stories	5			25 STORIES	53 STORIES	
Ground floor min	12' res use 15' non res use			EXIST. BLDG GROUND FLOOR HEIGHT IS 14'-0"	PROVIDED	
Max Building Length	100'			112'-1" ON BISSSELL 187'-1" PERPENDICULAR	PROVIDED - ON BISSSELL 320' PERPENDICULAR	INCREASE BUILDING LENGTH LIMITATION FROM 100' TO 320'
Private Open Space	60 SF/du * Min Dimensions - Private Open Space shall have no horizontal dimension less than 10' on grade, and 6' above grade	SEE OPEN SPACE DIAGRAM BELOW				REDUCE PRIVATE OPEN SPACE TO 0 SF PER DWELLING UNIT
Common Open Space	200 SF/du * Min Common Open Space - Horizontal distance of 20'	SEE OPEN SPACE DIAGRAM BELOW				REDUCE COMMON OPEN SPACE (REQUIRED SEE CALC BELOW)

Parking

Multi Family	1 BR - 1	2 BR - 1.5	3+ BR - 2	Guest Parking - 2				30 PROVIDED	76 PROVIDED	REDUCE PARKING TO 123 TOTAL SPACES
Office	2/1000 SF	RECD	10					12 PROVIDED		

BUILDING B (FAMILY) OPEN SPACE CALCULATIONS

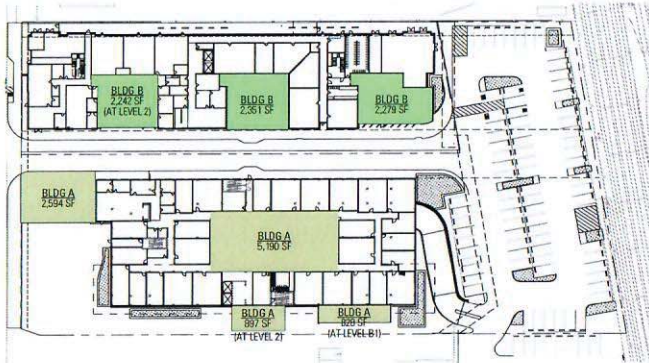
PRIVATE OPEN SPACE REQUIRED: 60 SF/DU
PRIVATE OPEN SPACE PROVIDED: NONE

COMMON OPEN SPACE REQUIRED: 200 SF/DU x 76 DU = 15,200 SF
PROVIDED AT LEVEL 1: 4,630 SF
PROVIDED AT LEVEL 2: 2,242 SF
TOTAL PROVIDED: 6,872 SF

BUILDING A (SUPPORTIVE) OPEN SPACE CALCULATIONS

PRIVATE OPEN SPACE REQUIRED: 60 SF/DU
PRIVATE OPEN SPACE PROVIDED: NONE

COMMON OPEN SPACE REQUIRED: 200 SF/DU x 58 DU = 11,600 SF
PROVIDED AT LEVEL B1: 829 SF
PROVIDED AT LEVEL 1: 7,784 SF
PROVIDED AT LEVEL 2: 697 SF
TOTAL PROVIDED: 9,509 SF



VICINITY MAP



PROJECT SUMMARY

PROJECT ADDRESS: 100 38TH STREET, RICHMOND, CA
 ASSESSOR'S PARCEL NO.: 517-340-004
 ZONING: PCI - PUBLIC, CULTURAL, AND INSTITUTIONAL
 LOT AREA: 123,710 SF

PROJECT DESCRIPTION: THE CURRENT COUNTY OWNED SITE CONSISTS OF AN EXISTING 2-STORY OVER BASEMENT DECOMMISSIONED COUNTY HEALTH BUILDING AND SURFACE PARKING. THE PROJECT IS TO REDEVELOP THE SITE BY RE-PURPOSE OF THE EXISTING 2-STORY OVER BASEMENT COUNTY HEALTH BUILDING INTO AN AFFORDABLE SUPPORT HOUSING, AND CONSTRUCTION OF A NEW 5-STORY AFFORDABLE FAMILY HOUSING BUILDING. THE NEW FAMILY HOUSING BUILDING WILL INCLUDE ~ 8,500 SF OF COUNTY OFFICE, AS WELL AS ~ 1,500 SF OF MICRO-ENTERPRISE RETAIL.

BUILDING A:
 OCCUPANCY: 5-2 (PARKING), R-2 (RESIDENTIAL)
 CONSTRUCTION TYPE: TYPE IBA AND TYPE IA
 NUMBER OF STORIES: 2 ABOVE GRADE PLANE (TYPE IBA), 1 BASEMENT LEVEL (TYPE IA)
 BUILDING HEIGHT: 28'-0"
 EXISTING: 70,000 SF 2 STORIES ABOVE GRADE, 1 BASEMENT LEVEL

BUILDING B:
 OCCUPANCY: R-2 (RESIDENTIAL), B (OFFICE), M (RETAIL USES)
 CONSTRUCTION TYPE: TYPE VA AND TYPE IA
 NUMBER OF STORIES: 5 ABOVE GRADE PLANE (4 STORIES OF TYPE VA OVER 1 STORY OF TYPE IA)
 BUILDING HEIGHT: 57'-7"
 EXISTING: SURFACE PARKING LOT

SHEET INDEX

NO	NAME	DATE
		08/02/2022

- 00 - GENERAL
- CS COVER SHEET
- G001 PROJECT INFORMATION
- G002 PROJECT DATA
- G003 EXISTING SITE CONTEXT - PHOTOS

- 01 - CIVIL
- C1.0 PRELIMINARY SITE PLAN
- C2.0 BOUNDARY & EXISTING CONDITIONS
- C3.0 PRELIMINARY GRADING AND UTILITY PLAN
- C4.0 PRELIMINARY STORMWATER CONTROL PLAN
- C5.0 FIRE ACCESS AND SERVICE PLAN

- 02 - LANDSCAPE
- L0.1 TREE SURVEY
- L1.1 LANDSCAPE PLAN - LEVEL 1
- L1.2 PRECEDENT IMAGES - LEVEL 1
- L1.3 LANDSCAPE PLAN - LEVEL 2
- L1.4 LANDSCAPE DETAILS
- L2.1 IRRIGATION PLAN - LEVEL 1
- L2.2 IRRIGATION PLAN - LEVEL 2
- L3.1 PLANTING PLAN - LEVEL 1
- L3.2 PLANTING PLAN - LEVEL 2 AND PLANT SCHEDULE
- L4.1 LANDSCAPE LIGHTING

- 04 - ARCHITECTURAL
- A000 DESIGN NARRATIVE
- A001 PERSPECTIVE
- A002 PERSPECTIVE
- A003 PERSPECTIVE
- A004 PERSPECTIVE
- A005 PERSPECTIVE
- A006 PERSPECTIVE
- A007 PERSPECTIVE
- A008 PERSPECTIVE
- A100 EXISTING/DEMOLITION SITE PLAN
- A101 PROPOSED SITE PLAN
- A200 FLOOR PLAN - LEVEL B1
- A201 FLOOR PLAN - LEVEL 1
- A202 FLOOR PLAN - LEVEL 2
- A203 FLOOR PLAN - LEVEL 3
- A204 FLOOR PLAN - LEVEL 4
- A205 FLOOR PLAN - LEVEL 5
- A206 ROOF PLAN
- A301 ELEVATIONS - BLDG A
- A302 ELEVATIONS - BLDG B
- A303 SECTIONS - BLDG A
- A304 SECTIONS - BLDG B
- A401 MATERIALS - BLDG A & BLDG B WEST ELEVS
- A401A MATERIALS - BLDG B - EAST ELEV
- A402 SIGNAGE
- A403 EXTERIOR BUILDING LIGHTING - BLDG A
- A404 EXTERIOR BUILDING LIGHTING - BLDG B
- A501 SHADOW STUDY

- 06 - ELECTRICAL
 - E100 PRELIMINARY SITE PHOTOMETRICS
 - E101 SITE LIGHTING CUTSHEETS
 - E102 SITE LIGHTING CUTSHEETS
- TOTAL 50



VIEW 1



VIEW 2



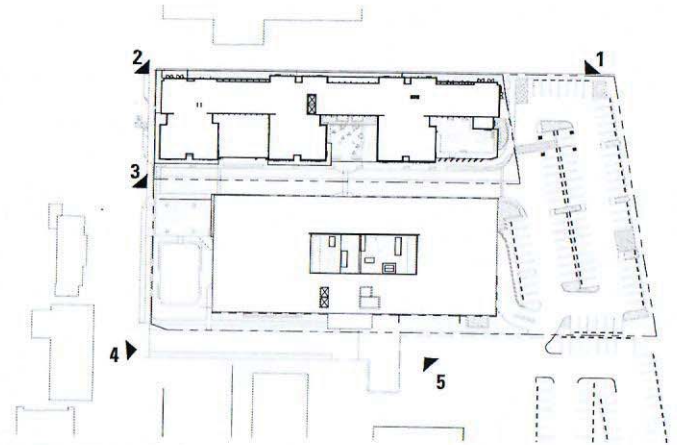
VIEW 3



VIEW 4



VIEW 5



100 38TH STREET SUPPORTIVE AND FAMILY APARTMENTS

100 38TH STREET, RICHMOND, CA

08/02/2022

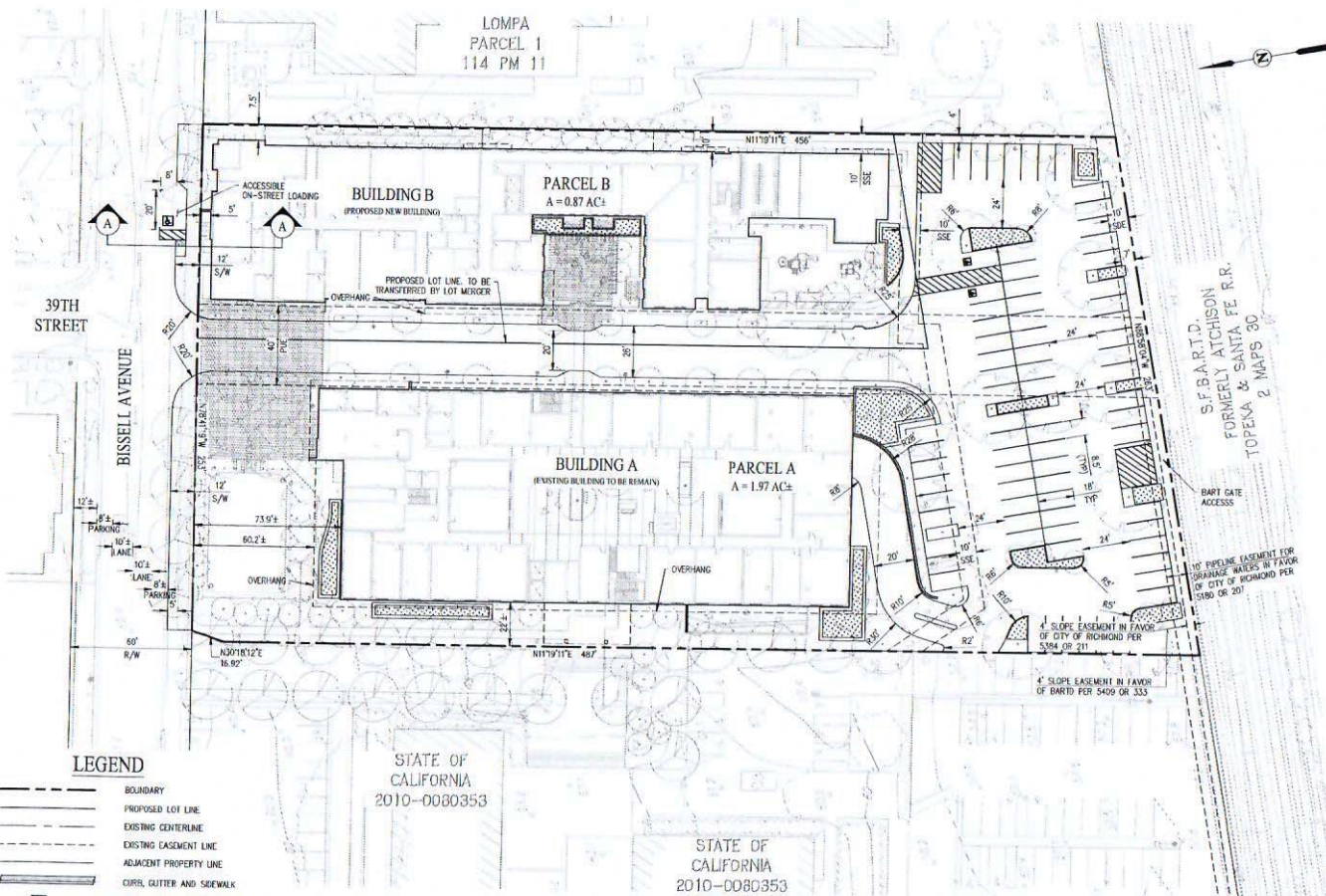
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BAR architects

EDEN CHDC HOUSING

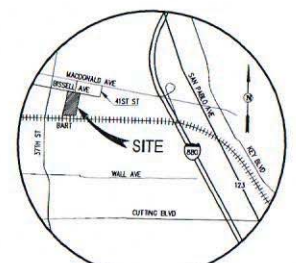
EXISTING SITE CONTEXT - PHOTOS

G003



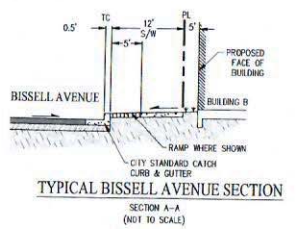
GENERAL NOTES:

- APPLICANT: EDEN HOUSING INC.
22045 GRAND STREET
HAYWARD, CA 94541
(510) 247-8180
- CIVIL ENGINEER: CARLSON, BARBER & GIBSON, INC.
2633 CAMINO RAMON, SUITE 350
SAN RAMON, CA 94583
(925) 866-0322
RYAN HANSEN, P.E.
- LANDSCAPE: JETT LANDSCAPE ARCHITECTURE
2 THEATRE SQ, STE 218
OAKLAND, CA 94612
(925) 254-5422
- GEOTECHNICAL ENGINEER: ROCKBRIDGE GEOTECHNICAL
270 GRAND AVENUE
OAKLAND, CA 94610
(510) 420-5738
- ARCHITECT: BAR ARCHITECTS
900 BATTERY ST, STE 300
SAN FRANCISCO, CA 94111
(415) 293-5700
- CONTOUR INTERVAL: 1' 00" (EXISTING)
- ADDRESS: 100 38TH STREET
- APN: 517-340-004
- GENERAL PLAN: MEDIUM DENSITY RESIDENTIAL
- EXISTING ZONING: PC1 (PUBLIC, CULTURAL, AND INSTITUTIONAL)
- PROPOSED ZONING: CM-3 (COMMERCIAL MIXED USE, COMMERCIAL EMPHASIS)
- EXISTING USE: COMMUNITY HEALTH CENTER
- PROPOSED USE: APARTMENTS, COMMERCIAL
- SITE AREA:
EXISTING: 2.84 AC± (123,710 SF±)
PROPOSED:
PARCEL A: 1.97 AC±
PARCEL B: 0.87 AC±
- NUMBER OF UNITS:
BUILDING A: 59 UNITS
BUILDING B: 72 UNITS
TOTAL: 131 UNITS
- COMMERCIAL OFFICE SPACE: BUILDING B: 7,895 SF OFFICE, 1500 SF CAFE
- DENSITY: PARCEL A: 29.94 DU/AC
PARCEL B: 82.86 DU/AC
- EXISTING LOTS/PARCELS: 4
- PROPOSED LOTS/PARCELS: 2
- LOT SIZE
MINIMUM: 37,901± SF
MAXIMUM: 85,922± SF
- UTILITIES WATER:
SEWER:
STORM DRAIN:
GAS & ELECTRIC:
TELEPHONE & CABLE TV:
EDMCO
CITY OF RICHMOND
CITY OF RICHMOND
CITY OF RICHMOND
AT&T & COMCAST
- UTILITIES: PROPOSED UTILITIES AS SHOWN ARE PRELIMINARY AND SUBJECT TO FINAL DESIGN.
- EXISTING BUILDING: EXISTING BUILDING IS TO REMAIN.
- FLOOD ZONE DESIGNATION: ZONE X, AREA OF MINIMAL FLOOD HAZARD PER FEMA FLOOD MAP REPORT 0601300237G DATED SEPTEMBER 30, 2015.
- TRASH/RECYCLE: REPUBLIC SERVICES
- STREETS: ALL PROPOSED STREETS AND ALLEYS ARE PRIVATE
- GRADING: PROPOSED GRADING AS SHOWN IS PRELIMINARY, FINISHED GRADING IS SUBJECT TO FINAL DESIGN
- DIMENSIONS: ALL PARCEL AND LOT DIMENSIONS SHOWN ARE APPROXIMATE AND MAY CHANGE DURING FINAL DESIGN
- ACCESSIBILITY: ALL REQUIRED ADA ACCESSIBLE UNITS WILL BE DESIGNED PER CALIFORNIA BUILDING CODE REQUIREMENTS WITH RESPECT TO SITE ACCESSIBILITY.
- LIGHTING: ALL ON-SITE LIGHTING WILL BE PRIVATE AND HOA MAINTAINED
- TREES: ALL ON-SITE TREES ARE TO BE REMOVED UNLESS OTHERWISE NOTED
- BENCHMARK: "CALTRANS KV3"
1.25" COPPER DISK STAMPED "CALTRANS KV3" ON TOP OF DRAINAGE INLET ON THE SOUTHERLY SIDE OF BISSELL AVENUE AT THE INTERSECTION OF BISSELL AVENUE AND 39TH STREET.
ELEVATION: 61.56 FEET (NAVD88)
- BASIS OF BEARINGS: THE BASIS OF BEARINGS FOR THIS SURVEY IS DETERMINED BY FOUND MONUMENTS KV3 AND KV4, THE BEARING BEING N89°50'22"E (CALCULATED PER 148 LSM 30.



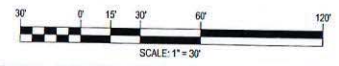
LEGEND

- BOUNDARY
- - - PROPOSED LOT LINE
- EXISTING CENTERLINE
- - - EXISTING EASEMENT LINE
- - - ADJACENT PROPERTY LINE
- CURB, GUTTER AND SIDEWALK
- ACCESSIBLE PARKING STALL
- BIO-RETENTION AREA
- BARTD
- EVAE
- EVAE
- PAE
- PGEE
- PL
- PUE
- PUE
- SDE
- SDE
- SSE
- S/W
- TC
- R/W
- L/S
- EMERGENCY VEHICLE ACCESS EASEMENT
- PUBLIC ACCESS EASEMENT
- PACIFIC GAS & ELECTRIC EASEMENT
- PROPERTY LINE
- PUBLIC UTILITY EASEMENT
- PUBLIC STORM DRAIN EASEMENT
- PUBLIC SANITARY SEWER EASEMENT
- SIDEWALK
- TOP OF CURB
- RIGHT OF WAY
- LANDSCAPE



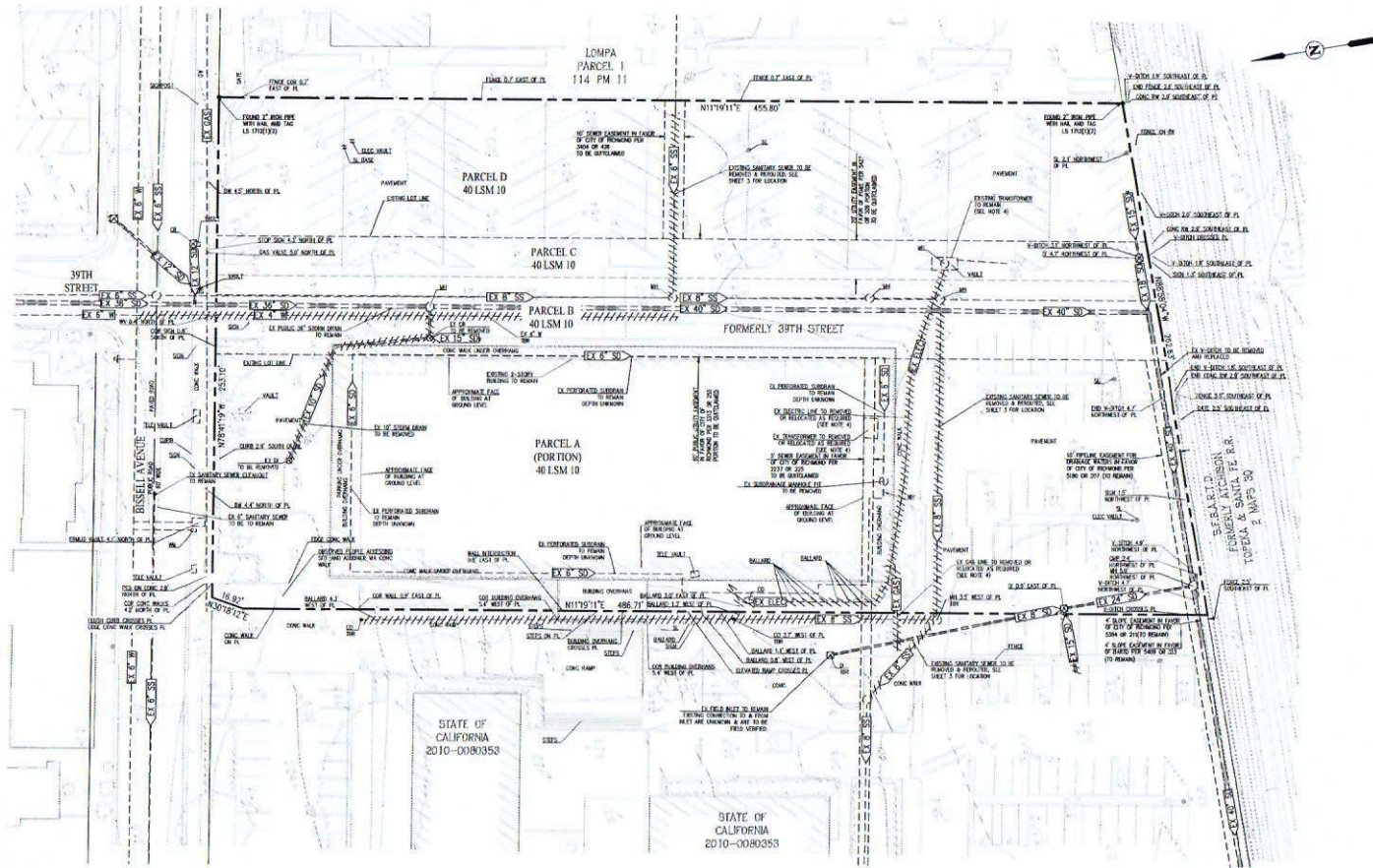
SHEET INDEX

SHEET NO.	SHEET DESCRIPTION
C1.0	PRELIMINARY SITE PLAN
C2.0	BOUNDARY & EXISTING CONDITIONS
C3.0	PRELIMINARY GRADING AND UTILITY PLAN
C4.0	PRELIMINARY STORMWATER CONTROL PLAN
C5.0	FIRE ACCESS AND SERVICE PLAN



100 38TH STREET SUPPORTIVE AND FAMILY APARTMENTS
100 38TH STREET, RICHMOND, CA

PRELIMINARY SITE PLAN



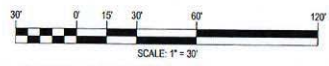
LEGEND

---	BOUNDARY
---	EXISTING PARCEL LINE
---	EXISTING CENTERLINE
---	EXISTING EASEMENT LINE
---	ADJACENT LOT LINE
---	ADJACENT PROPERTY LINE
---	EXISTING STORM DRAIN
---	EXISTING SANITARY SEWER MAIN
---	EXISTING WATER MAIN
---	EXISTING GAS LINE
---	EXISTING ELECTRIC LINE
---	EXISTING MANHOLE
---	EXISTING STORM DRAIN CATCH BASIN
---	EXISTING FIRE HYDRANT
---	EXISTING UTILITY BOX/VAULT
---	EXISTING SANITARY SEWER MAIN TO BE REMOVED
---	EXISTING ELECTRIC LINE TO BE REMOVED
---	EXISTING STORM DRAIN LINE TO BE REMOVED
---	EXISTING WATER LINE TO BE REMOVED

ABBREVIATIONS

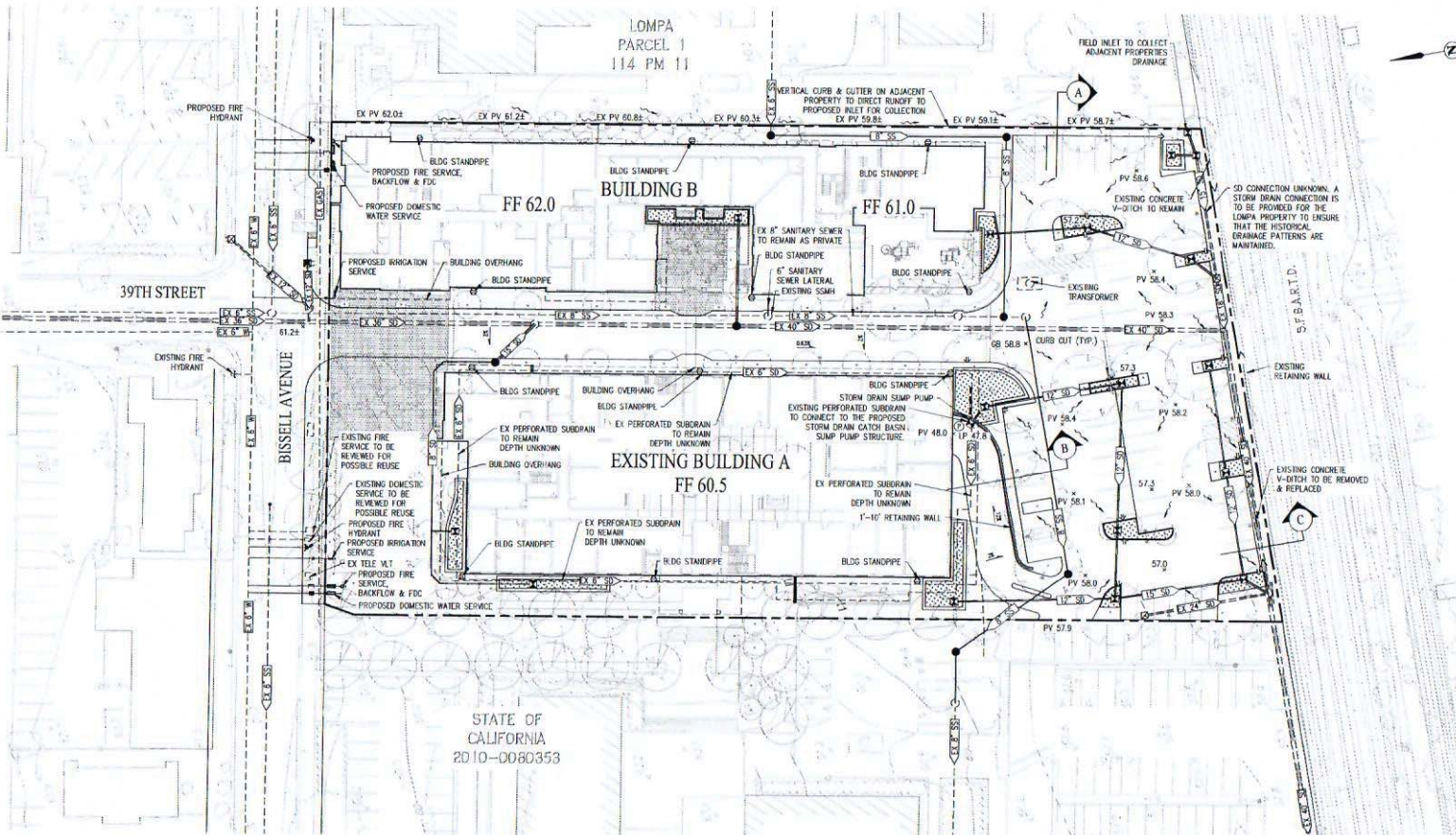
BLDG	BUILDING
CATV	CABLE TELEVISION
CB	CATCH BASIN
CD	CLEARCUT
CONC	CONCRETE
DI	DROP INLET
ELEC	ELECTRICAL
ESMT	EASEMENT
EV	ELECTRICAL VAULT
EX	EXISTING
GM	GAS METER
LT	LIGHT
MH	MANHOLE
PL	PROPERTY LINE
RW	RIGHT OF WAY
SD	STORM DRAIN
SF	SQUARE FEET
SL	STREET LIGHT
SS	SANITARY SEWER
ST	STREET
TBR	TO BE REMOVED
TYP	TYPICAL
UV	UTILITY VALVE
VA	VAULT
W	WATER
WV	WATER VALVE

- NOTES:**
- 1) ALL EXISTING GAS MAIN LOCATIONS ARE SUBJECT TO FIELD VERIFICATION.
 - 2) ALL EXISTING ON-SITE TREES ARE TO BE REMOVED.
 - 3) ALL ON-SITE PUBLIC UTILITIES ARE TO REMAIN UNLESS OTHERWISE NOTED.
 - 4) ALL ON-SITE JOINT TRENCH FACILITIES ARE TO BE REVENUED BY THE JOINT TRENCH CONSULTANT TO BE DETERMINED IF EXISTING FACILITIES ARE TO REMAIN, BE REMOVED, OR BE RELOCATED.
 - 5) ALL ON-SITE PRIVATE IMPROVEMENTS ARE TO BE REMOVED UNLESS OTHERWISE NOTED.
 - 6) THE LOCATION OF THE EXISTING SANITARY SEWER LATERALS SERVING THE EXISTING BUILDING A & COURT HOUSE BUILDING ARE UNKNOWN. ALL EXISTING SEWER LATERALS IMPACTED BY THE SANITARY SEWER MANHOLE WILL BE REQUIRED TO BE CONNECTED TO THE NEW SANITARY SEWER MAIN.



100 38TH STREET SUPPORTIVE AND FAMILY APARTMENTS
100 38TH STREET, RICHMOND, CA

BOUNDARY & EXISTING CONDITIONS



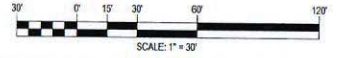
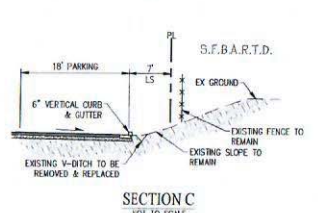
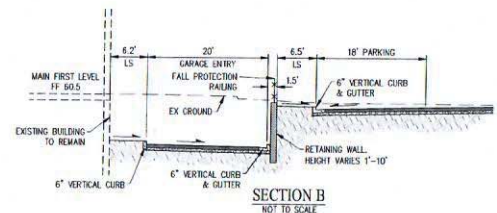
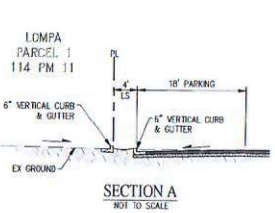
LEGEND

	PROPOSED PROPERTY LINE
	ADJACENT PROPERTY LINE
	EXISTING STORM DRAIN
	EXISTING SANITARY SEWER MAIN
	EXISTING WATER MAIN
	EXISTING GAS LINE
	PROPOSED SANITARY SEWER
	PROPOSED WATER
	EXISTING V-DITCH
	PROPOSED V-DITCH
	PROPOSED RETAINING WALL
	EXISTING RETAINING WALL
	EXISTING MANHOLE
	PROPOSED MANHOLE
	EXISTING STORM DRAIN CATCH BASIN
	STORM DRAIN CATCH BASIN
	SANITARY SEWER CLEANOUT
	BIO-RETENTION AREA
	PROPOSED DOMESTIC WATER SERVICE
	PROPOSED FIRE HYDRANT
	EXISTING FIRE HYDRANT
	PROPOSED FIRE SERVICE, BACKFLOW & FDC
	STORM DRAIN SLUMP PUMP (DESIGN FLOW)
	DIRECTION OF FLOW
	WHAFF HYDRANT
	SPOT ELEVATION

ABBREVIATIONS

ADJ	ADJACENT
B/B	BUILDING TO BUILDING
BFP	BACK FLOW PREVENTOR
BLDG	BUILDING
ELEC	ELECTRIC
EX	EXISTING
FDC	FIRE DEPARTMENT CONNECTIONS
FI	FIRE HYDRANT
FS	FIRE SERVICE
IRR	IRRIGATION
OH	OVERHANG
PVI	POST INDICATOR VALVE
PR	PROPOSED
SD	STORM DRAIN
SS	SANITARY SEWER
W	WATER
WM	WATER METER
W/	WITH

- NOTE:**
- UTILITY LAYOUT AS SHOWN IS PRELIMINARY AND SUBJECT TO FINAL ENGINEERING DESIGN. EXISTING UTILITY LOCATIONS ARE APPROXIMATE, BASED ON RECORD INFORMATION AND FIELD SURVEY DATA. UTILITY POINT OF CONNECTIONS SHALL BE VERIFIED WITH USA MARKINGS AND POTHOLE INFORMATION.
 - ALL EXISTING UTILITIES SHOWN TO BE REMOVED OR RELOCATED ON ADJACENT PROPERTIES ARE SUBJECT TO TEMPORARY ACCESS BEING ALLOWED BY THE PROPERTY OWNERS.
 - ALL BUILDING STORM DRAIN, WATER, AND SEWER POINT OF CONNECTIONS ARE SUBJECT TO FINAL BUILDING PLUMBING DESIGN.
 - EXISTING SANITARY SEWER LATERALS TO CONNECT TO REROUTED SANITARY SEWER. THE LOCATIONS OF THE SANITARY SEWER LATERALS IN BISSELL AVENUE ARE UNKNOWN.
 - ALL GRADES ARE PRELIMINARY AND SUBJECT TO FINAL DESIGN.
 - FRESH FLOOR ELEVATIONS ARE BASED ON RELATIONSHIP TO EXISTING PERIMETER GRADES AND OVERLAND RELEASE.



100 38TH STREET SUPPORTIVE AND FAMILY APARTMENTS
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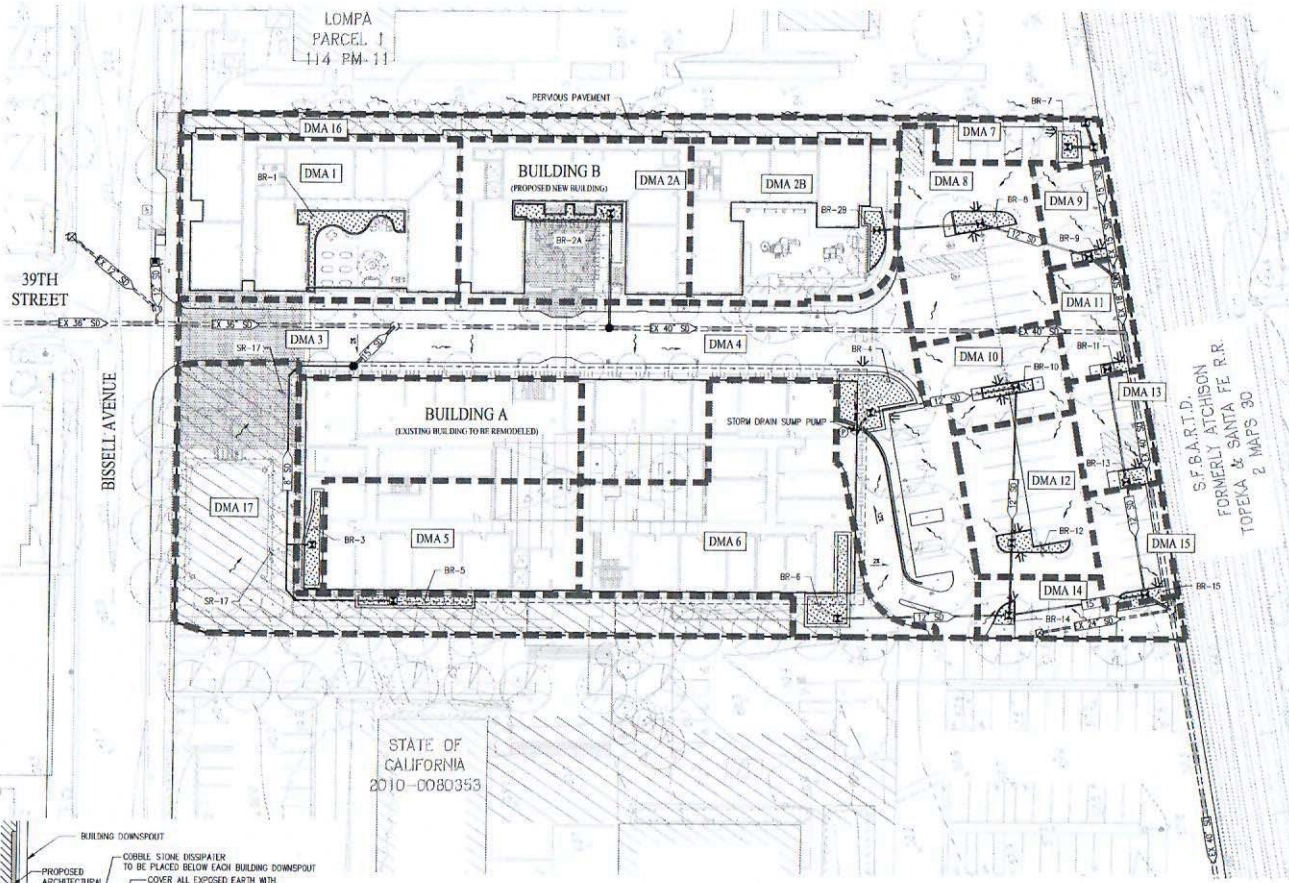
PRELIMINARY GRADING AND UTILITY PLAN

08/02/2022

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C3.0



LEGEND

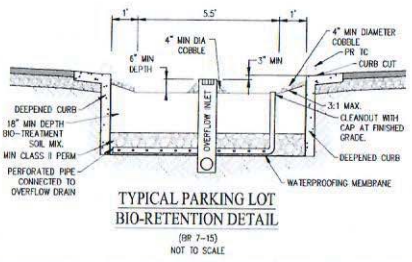
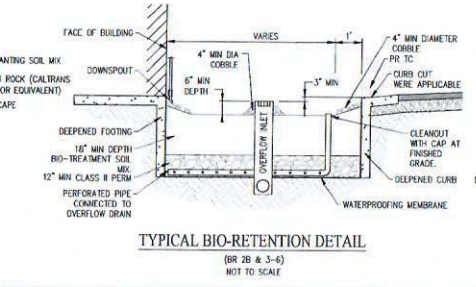
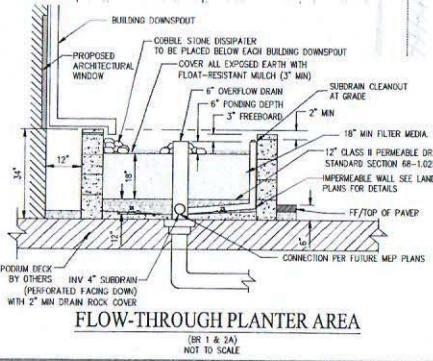
EXISTING

PROPOSED

- PROPERTY LINE
- ADJACENT PROPERTY LINE
- DRAINAGE AREA BOUNDARY
- STORM DRAIN FORCE PUMP MAIN
- STORM DRAIN MANHOLE
- CATCH BASIN
- DRAINAGE MANAGEMENT AREA LABEL
- BIO-RETENTION AREA
- SELF-RETAINING AREA
- PUMP
- DIRECTION OF FLOW
- CURB CUT
- BR - RETENTION AREA DESIGNATION
- DMA
- SD
- TC
- PR
- EX
- SR

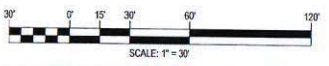
STORM WATER TREATMENT SUMMARY

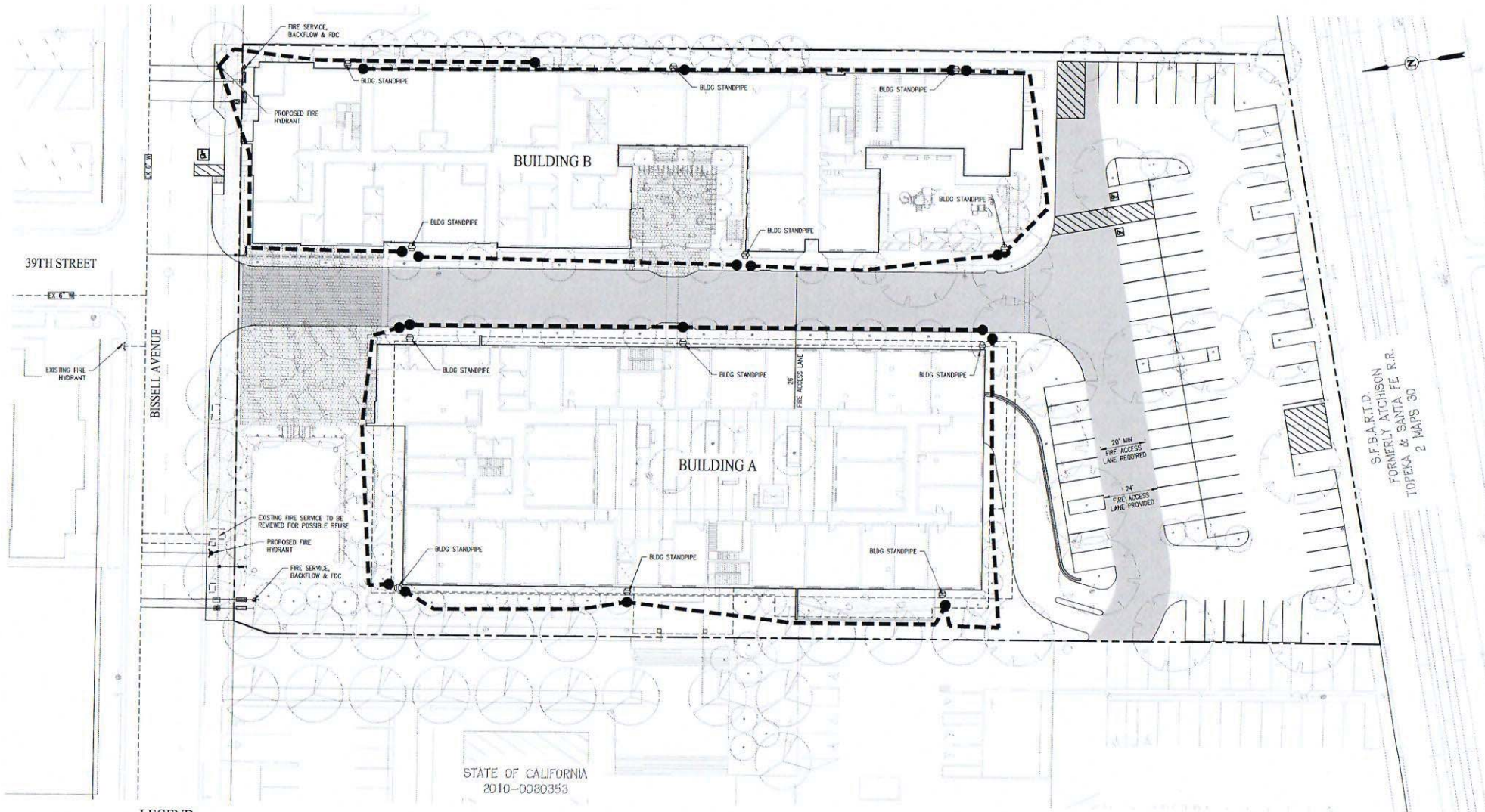
DMA	TREATMENT TYPE	SIZING METHOD	TREATMENT DEVICE DESIGNATION	DMA AREA	IMPERVIOUS AREA (SF)	PERVIOUS AREA (SF)	EFFECTIVE IMPERVIOUS AREA (SF) (IMPERVIOUS X 0.1)	TREATMENT AREA REQUIRED (SF)	TREATMENT AREA PROVIDED (SF)
1	FLOW-THROUGH PLANTER	4%	BR-1	1198	1040.5	79.5	1048.5	419	450
2A	FLOW-THROUGH PLANTER	4%	BR-2	9214	6598	2636	6882	274	283
2B	BIO-RETENTION	4%	BR-2	8060	4355	3705	4725	189	194
3	BIO-RETENTION	4%	BR-3	7788	6839	849	7024	281	281
4	BIO-RETENTION	4%	BR-4	2387	16329	7658	17095	684	684
5	BIO-RETENTION	4%	BR-5	7147	7147	0	7147	286	286
6	BIO-RETENTION	4%	BR-6	12124	10144	1980	10342	414	414
7	BIO-RETENTION	4%	BR-7	1846	1671	775	1149	46	89
8	BIO-RETENTION	4%	BR-8	6403	6319	284	6147	246	246
9	BIO-RETENTION	4%	BR-9	1846	1398	448	1443	58	70
10	BIO-RETENTION	4%	BR-10	3113	2897	216	2919	117	125
11	BIO-RETENTION	4%	BR-11	2109	1602	507	1653	66	70
12	BIO-RETENTION	4%	BR-12	4683	4419	264	4445	178	218
13	BIO-RETENTION	4%	BR-13	2109	1541	568	1598	64	117
14	BIO-RETENTION	4%	BR-14	2846	1804	842	1888	76	82
15	BIO-RETENTION	4%	BR-15	2109	1572	537	1626	65	194
16	SELF-TREATING	N/A	N/A	4364	0	4598	N/A	N/A	N/A
17	SELF-RETAINING	2:1 RATIO	SR-17	12948	8935	4013	SEE NOTE 2	4465	4833
	TOTAL			123714	93273	30765	86544	7927	8636



NOTE:

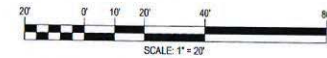
- STORM DRAIN LAYOUT AND DMA TREATMENT AREAS ARE SUBJECT TO CHANGE WITH FINAL SITE GRADING AND DRAINAGE PLAN. EXACT DOWNSPOUT LOCATION ARE UNKNOWN.
- SELF-RETAINING AREAS ARE PERVIOUS LANDSCAPING OR PERVIOUS PAVEMENT. A RATIO OF PERVIOUS PAVEMENT AREA IS NOT TO BE GREATER THAN 2:1.
- SELF-TREATING DRAINAGE MANAGEMENT AREAS ARE NATURAL, LANDSCAPE OR PERVIOUS PAVEMENT AREAS THAT DRAIN TO THE STORM DRAIN SYSTEM.





LEGEND

- PROPERTY LINE
- - - ADJACENT PROPERTY LINE
- - - EX. W. M. EXISTING WATER MAIN
- ▲ EXISTING FIRE HYDRANT
- ▲ PROPOSED FIRE HYDRANT
- PROPOSED FIRE DEPARTMENT CONNECTION
- ⊕ PROPOSED WIAST HYDRANT
- - - FIRE DEPARTMENT HOSE REACH (150' MAX)
- FIRE APPARATUS ACCESS ROAD



100 38TH STREET SUPPORTIVE AND FAMILY APARTMENTS
 100 38TH STREET, RICHMOND, CA

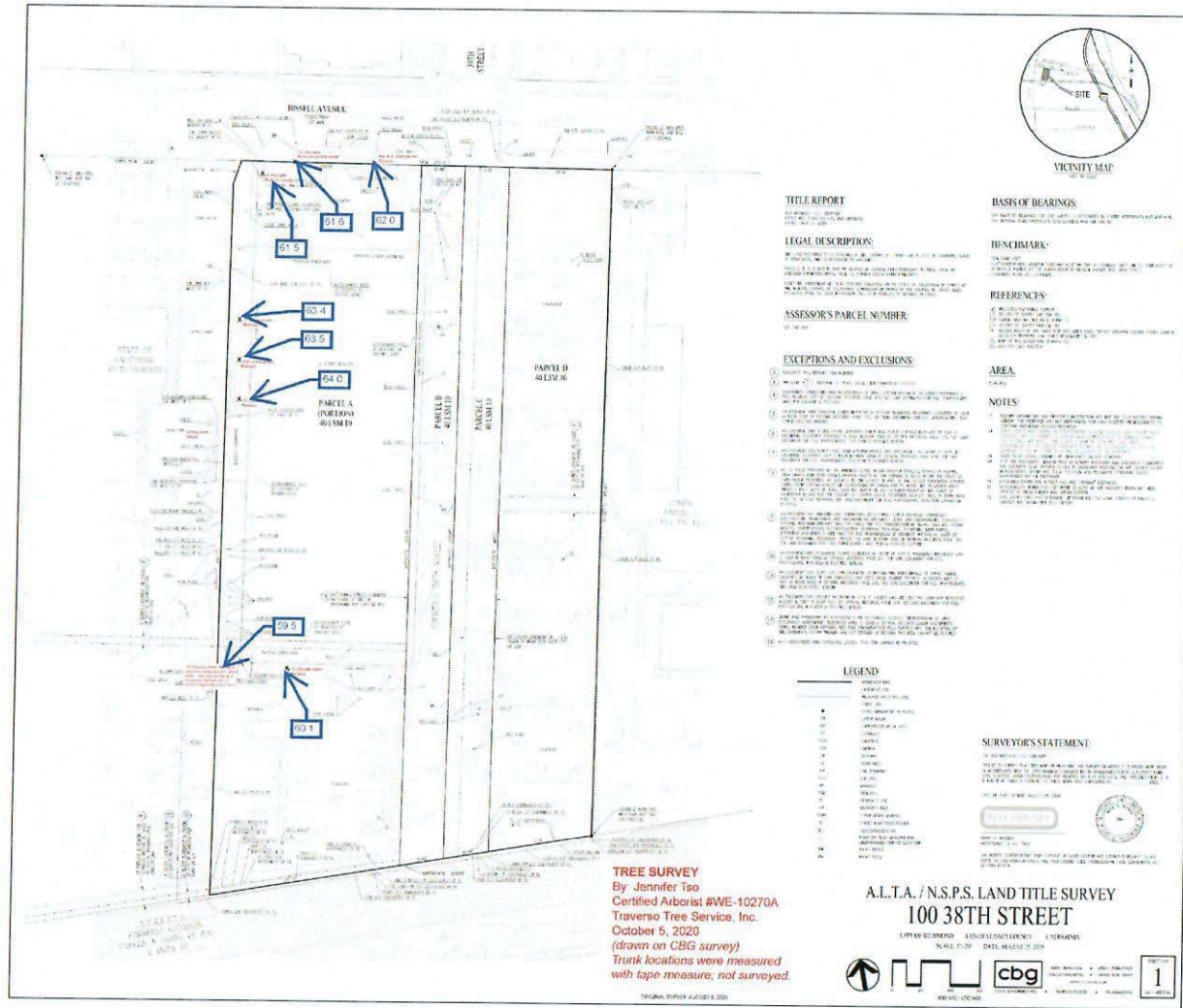
FIRE ACCESS AND SERVICE PLAN

08/02/2022

3292-000

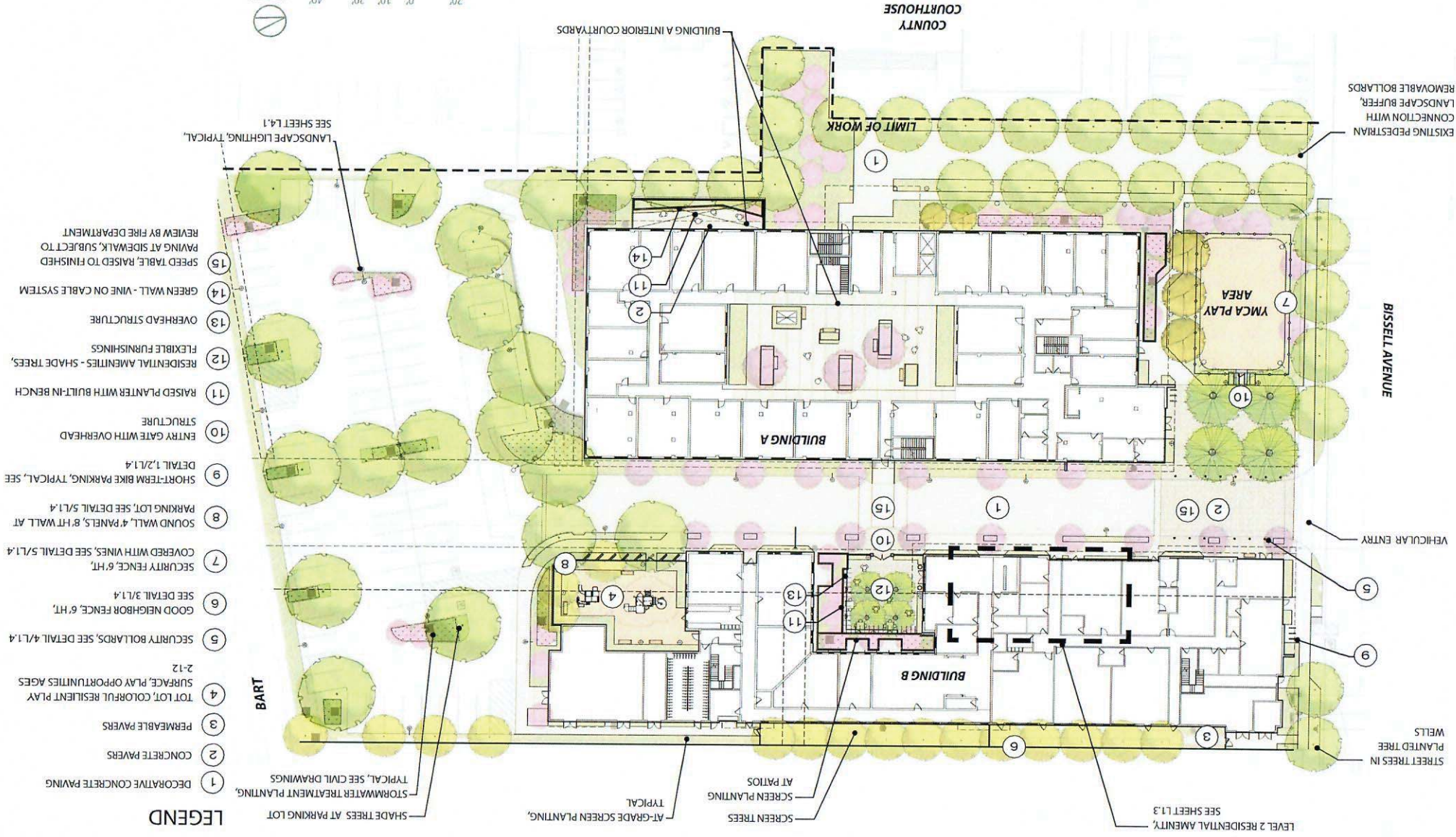
cbg

C5.0



TREE SURVEY
 By Jennifer Iso
 Certified Arborist #WE-10270A
 Traverso Tree Service, Inc.
 October 5, 2020
(drawn on CBG survey)
 Trunk locations were measured
 with tape measure, not surveyed.

A.L.T.A. / N.S.P.S. LAND TITLE SURVEY
100 38TH STREET





1 DECORATIVE CONCRETE PAVING



2 CONCRETE PAVERS



4 TOT LOT, RESILIENT PLAY SURFACES



7 8 SECURITY FENCE WITH VINES/SOUND WALL



10 OVERHEAD STRUCTURE AT ENTRY GATE



9 SHORT-TERM BIKE PARKING



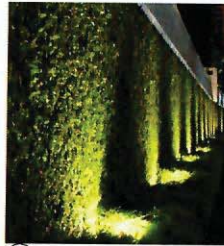
11 RAISED PLANTER WITH BUILT-IN BENCH



12 FLEXIBLE FURNISHINGS



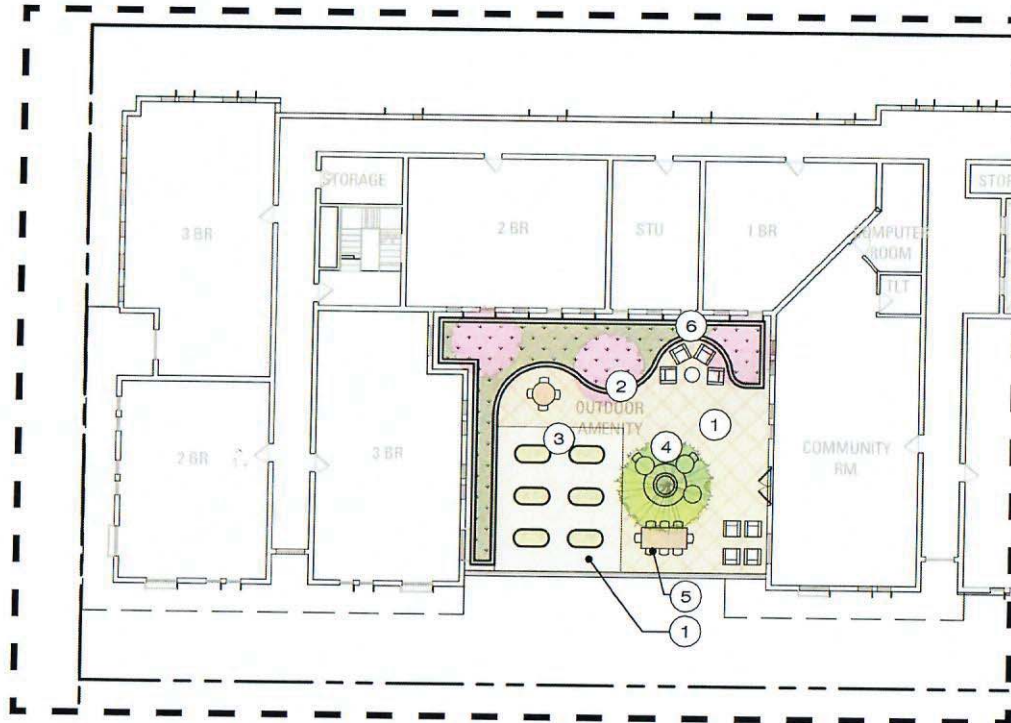
13 OVERHEAD STRUCTURE



14 VINES ON CABLE SYSTEM

LEGEND

- 1 DECORATIVE CONCRETE PAVING
- 2 CONCRETE PAVERS
- 3 PERMEABLE PAVERS
- 4 TOT LOT, COLORFUL RESILIENT PLAY SURFACE, PLAY OPPORTUNITIES AGES 2-12
- 5 SECURITY BOLLARDS, SEE DETAIL 4/L1.4
- 6 GOOD NEIGHBOR FENCE, 6' HT, SEE DETAIL 3/L1.4
- 7 SECURITY FENCE, 6' HT, COVERED WITH VINES, SEE DETAIL 5/L1.4
- 8 SOUND WALL, 4' PANELS, 8' HT WALL AT PARKING LOT, SEE DETAIL 5/L1.4
- 9 SHORT-TERM BIKE PARKING, TYPICAL, SEE DETAIL 1,2/L1.4
- 10 ENTRY GATE WITH OVERHEAD STRUCTURE
- 11 RAISED PLANTER WITH BUILT-IN BENCH
- 12 RESIDENTIAL AMENITIES - SHADE TREES, FLEXIBLE FURNISHINGS
- 13 OVERHEAD STRUCTURE
- 14 GREEN WALL - VINE ON CABLE SYSTEM
- 15 SPEED TABLE, RAISED TO FINISHED PAVING AT SIDEWALK, SUBJECT TO REVIEW BY FIRE DEPARTMENT

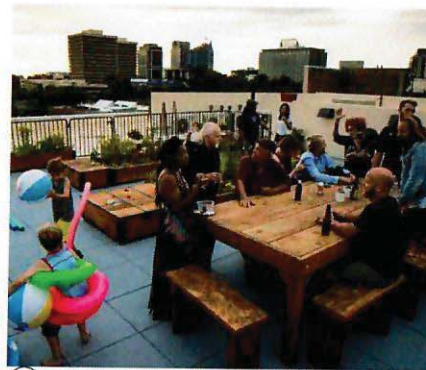


LEGEND

- ① CONCRETE PAVERS
- ② CONCRETE STORMWATER TREATMENT PLANTER WALLS WITH SCREEN PLANTING
- ③ COMMUNITY GARDEN PLANTERS, 6'X3'
- ④ ACCENT TREE WITH SEATING
- ⑤ COMMUNITY TABLE
- ⑥ LOOSE FURNISHINGS, TYPICAL



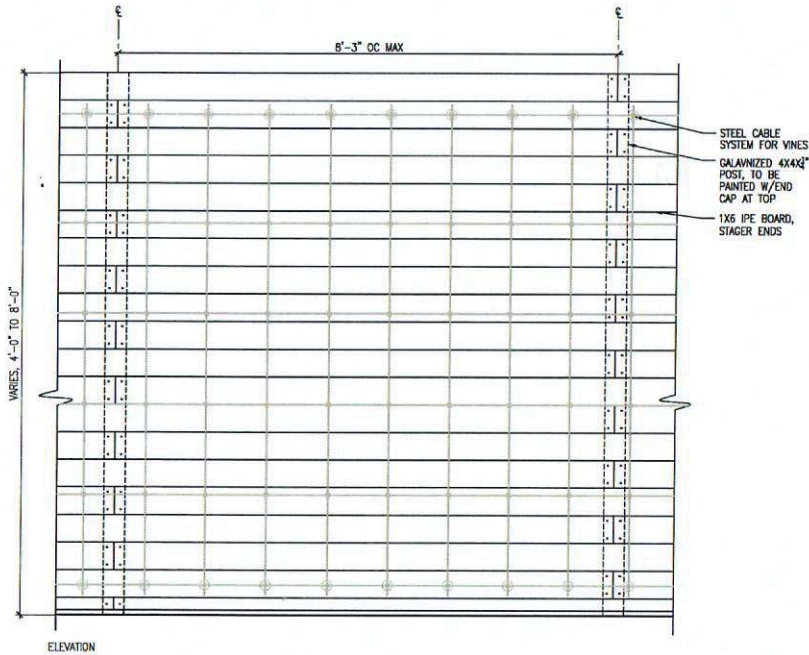
③ COMMUNITY GARDEN PLANTERS



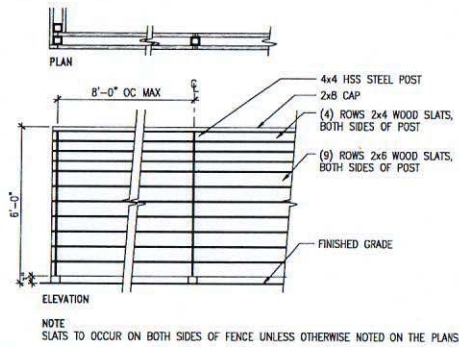
⑤ COMMUNITY TABLE



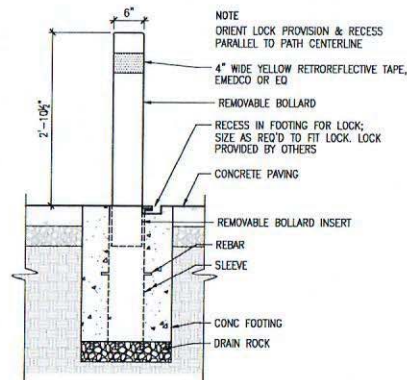
② CONCRETE WALLS WITH SCREEN PLANTING



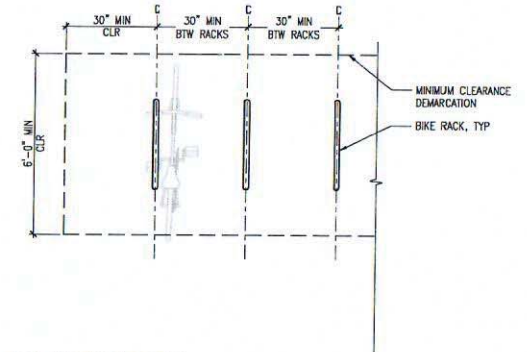
5 SECURITY FENCE AND SOUND WALL
SCALE: 1"=1'-0"



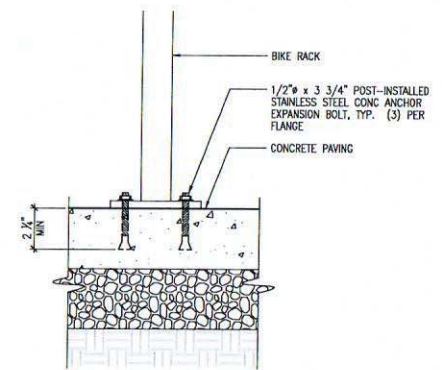
3 GOOD NEIGHBOR FENCE
SCALE: 1/2"=1'-0"



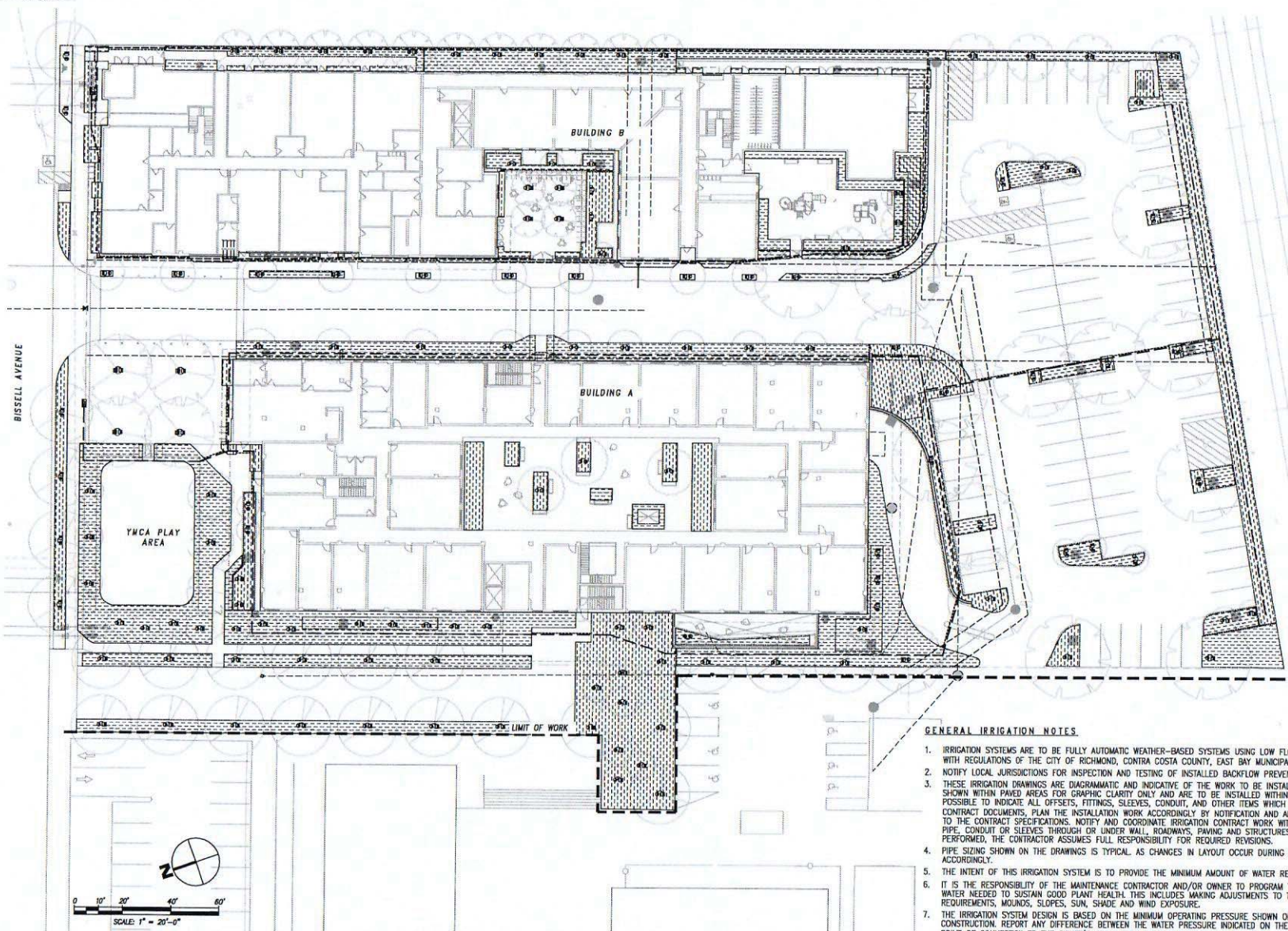
4 REMOVEABLE BOLLARD
SCALE: 1"=1'-0"



1 BIKE RACK LAYOUT
SCALE: 1/2"=1'-0"



2 BIKE RACK SURFACE MOUNT
SCALE: 3/8"=1'-0"



GENERAL IRRIGATION NOTES

1. IRRIGATION SYSTEMS ARE TO BE FULLY AUTOMATIC WEATHER-BASED SYSTEMS USING LOW FLOW DRIP AND BUBBLER DISTRIBUTION. NEW IRRIGATION IN ACCORDANCE WITH REGULATIONS OF THE CITY OF RICHMOND, CONTRA COSTA COUNTY, EAST BAY MUNICIPAL UTILITY DISTRICT (EBMUD) AND THE STATE WATER ORDINANCE.
2. NOTIFY LOCAL JURISDICTIONS FOR INSPECTION AND TESTING OF INSTALLED BACKFLOW PREVENTION DEVICE.
3. THESE IRRIGATION DRAWINGS ARE DIAGRAMMATIC AND INDICATIVE OF THE WORK TO BE INSTALLED. ALL PIPING, VALVES, AND OTHER IRRIGATION COMPONENTS MAY BE SHOWN WITHIN PAVED AREAS FOR GRAPHIC CLARITY ONLY AND ARE TO BE INSTALLED WITHIN PLANTING AREAS. DUE TO THE SCALE OF THE DRAWINGS, IT IS NOT POSSIBLE TO INDICATE ALL OFFSETS, FITTINGS, SLEEVES, CONDUIT, AND OTHER ITEMS WHICH MAY BE REQUIRED. IN THE EVENT OF FIELD DISCREPANCY WITH CONTRACT DOCUMENTS, PLAN THE INSTALLATION WORK ACCORDINGLY BY NOTIFICATION AND APPROVAL OF THE OWNER'S AUTHORIZED REPRESENTATIVE AND ACCORDING TO THE CONTRACT SPECIFICATIONS. NOTIFY AND COORDINATE IRRIGATION CONTRACT WORK WITH APPLICABLE CONTRACTORS FOR THE LOCATION AND INSTALLATION OF PIPE, CONDUIT OR SLEEVES THROUGH OR UNDER WALL, ROADWAYS, PAVING AND STRUCTURES BEFORE CONSTRUCTION. IN THE EVENT THESE NOTIFICATIONS ARE NOT PERFORMED, THE CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR REQUIRED REVISIONS.
4. PIPE SIZING SHOWN ON THE DRAWINGS IS TYPICAL. AS CHANGES IN LAYOUT OCCUR DURING STAKING AND CONSTRUCTION THE SIZE MAY NEED TO BE ADJUSTED ACCORDINGLY.
5. THE INTENT OF THIS IRRIGATION SYSTEM IS TO PROVIDE THE MINIMUM AMOUNT OF WATER REQUIRED TO SUSTAIN GOOD PLANT HEALTH.
6. IT IS THE RESPONSIBILITY OF THE MAINTENANCE CONTRACTOR AND/OR OWNER TO PROGRAM THE IRRIGATION CONTROLLER TO PROVIDE THE MINIMUM AMOUNT OF WATER NEEDED TO SUSTAIN GOOD PLANT HEALTH. THIS INCLUDES MAKING ADJUSTMENTS TO THE PROGRAM FOR SEASONAL WEATHER CHANGES, PLANT MATERIAL, WATER REQUIREMENTS, MOUNDS, SLOPES, SUN, SHADE AND WIND EXPOSURE.
7. THE IRRIGATION SYSTEM DESIGN IS BASED ON THE MINIMUM OPERATING PRESSURE SHOWN ON THE IRRIGATION DRAWINGS. VERIFY WATER PRESSURE PRIOR TO CONSTRUCTION. REPORT ANY DIFFERENCE BETWEEN THE WATER PRESSURE INDICATED ON THE DRAWINGS AND THE ACTUAL PRESSURE READING AT THE IRRIGATION POINT OF CONNECTION TO THE OWNER'S AUTHORIZED REPRESENTATIVE.

100 38TH STREET SUPPORTIVE AND FAMILY APARTMENTS
 100 38TH STREET, RICHMOND, CA

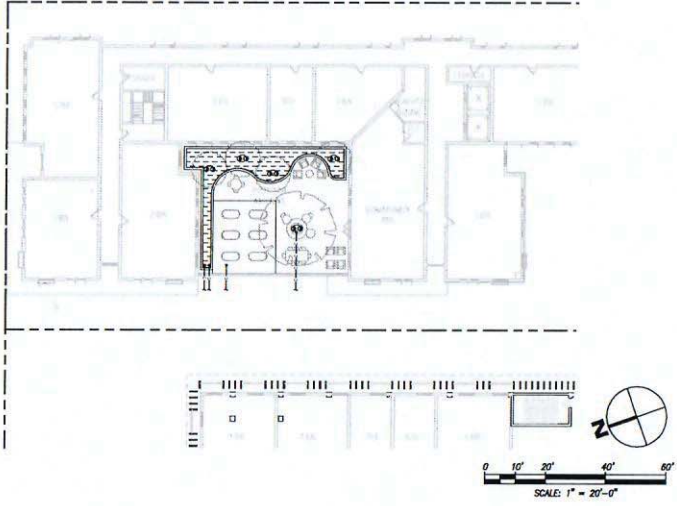
IRRIGATION PLAN - LEVEL 1

8/2/2022

19047



L2.1



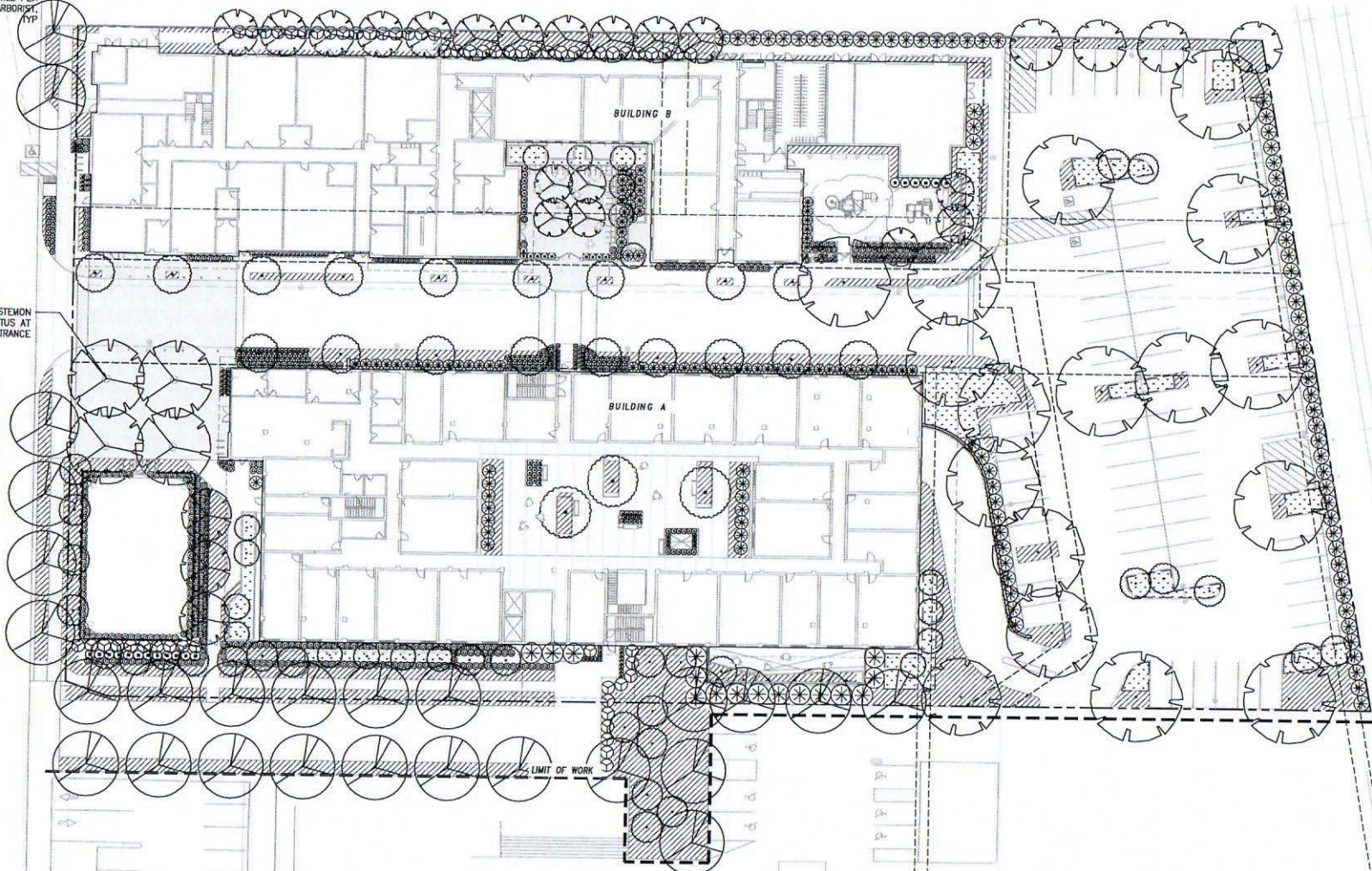
GENERAL IRRIGATION NOTES

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100 38TH STREET PER CITY ARBORIST TYP

LOPHOSTEMON CONFERTUS AT LOBBY ENTRANCE

BISSELL AVENUE



PLANT PALETTE

SYMBOL	BOTANICAL NAME	COMMON NAME
STREET TREES		
(Symbol)	TBD PER CITY ARBORIST	TBD
LANDSCAPE TREES		
(Symbol)	GINKGO BILOBA 'AUTUMN GOLD'	MAIDENHAIR TREE
(Symbol)	LOPHOSTEMON CONFERTUS	BRISBANE BOX
(Symbol)	PODOCARPUS GRACILIOR	FERN PODOCARPUS
(Symbol)	QUERCUS AGRIFOLIA	COAST LIVE OAK
(Symbol)	TRISTANOPSIS LAURINA	WATER GUM
SMALL ACCENT TREES		
(Symbol)	ACER PALMATUM	JAPANESE MAPLE
(Symbol)	CERCIS OCCIDENTALIS*	WESTERN REDBUD
(Symbol)	LAGERSTROEMIA 'MUSKOGEE'	GRAPE MYRTLE
LARGE SHRUBS		
(Symbol)	DODONAEA VISCOSA 'PURPUREA'	PURPLELEAF HOP BUSH
(Symbol)	PITOSPORUM TOBIRA	MOCK ORANGE
(Symbol)	RHAMNUS CALIFORNICA	COFFEEBERRY
MEDIUM SHRUBS, GRASSES, & PERENNIALS		
(Symbol)	ACACIA COGNATA 'ODUSIN ITT'	LITTLE RIVER WATTLE
(Symbol)	AGAVE ATTENUATA 'NOVA'	BLUE FOX TAIL AGAVE
(Symbol)	BUXUS 'GREEN MOUNTAIN'	GREEN MATIN BOXWOOD
(Symbol)	CORREA 'WYNS WONDER'	AUSTRALIAN FUCHSIA
(Symbol)	LOROPETALUM 'SUZANNE'	FRINGE FLOWER
(Symbol)	MUHLENBERGIA RIGENS	DEER GRASS
(Symbol)	PHORMIUM HYBRID	NEW ZEALAND FLAX
(Symbol)	PITOSPORUM CRASSIFOLIUM VARIEGATA	VARIEGATED MOCK ORANGE
(Symbol)	POLYSTICHUM MUNITUM	WESTERN SWORD FERN
(Symbol)	SALVA LEUCANTHA	MEXICAN SAGE
SMALL SHRUBS, GRASSES, & PERENNIALS		
(Symbol)	ACHILLEA SP	YARROW
(Symbol)	ASPIDISTRA ELATIOR	CAST IRON PLANT
(Symbol)	CLIVIA MINATA	NATAL LILY
(Symbol)	DIETES BICOLOR	FORTNIGHT LILY
(Symbol)	LIMONIUM PEREZII	SEA LAVENDER
(Symbol)	LIRIOPE 'SILVER DRAGON'	SILVERY LILYTURF
GROUNDCOVERS		
(Symbol)	ARCTOSTAPHYLOS UVA URSI	GRN. SUPREME
(Symbol)	'GREEN SUPREME'	MANZANITA
(Symbol)	SARCOCCA HUMILIS HOOKERIANA	SWEET BOX
(Symbol)	SEDUM SPP.	STONECROP
VINES		
(Symbol)	HARDENBERGIA VIOLACEA	PURPLE LILAC VINE
(Symbol)	TRACHELOSPERMUM JASMINOIDES	STAR JASMINE
STORMWATER PLANTING MIX		
(Symbol)	ACHILLEA MILLIFOLIUM (UPLAND)	YARROW
(Symbol)	CAREX DIVULSA (BANKS)	BERKELEY SEDGE
(Symbol)	CHONDROPETALUM TEC. (BASIN)	CAPE RUSH
(Symbol)	JUNCUS PATENS (BASIN)	RUSH
(Symbol)	PENSTEMON HET. (UPLAND)	BEARD TONGUE

SEE SHEET L3.2 FOR FULL SCHEDULE OF PLANTS.

100 38TH STREET SUPPORTIVE AND FAMILY APARTMENTS

100 38TH STREET, RICHMOND, CA

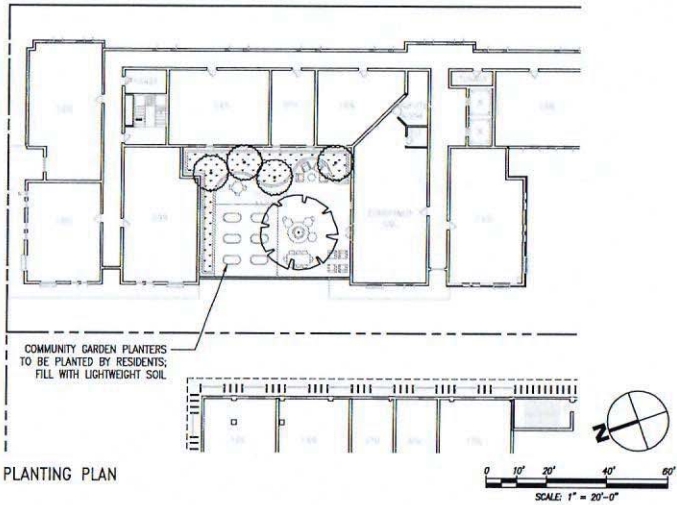
PLANTING PLAN - LEVEL 1

8/2/2022

19047



L3.1



TREES



SHRUBS



SMALL SHRUBS



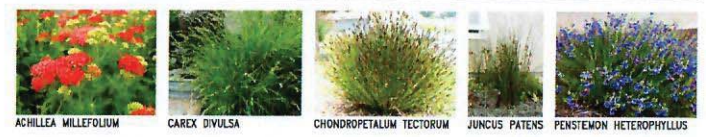
GROUNDCOVERS



VINES



STORMWATER PLANTING



PLANTING NOTES

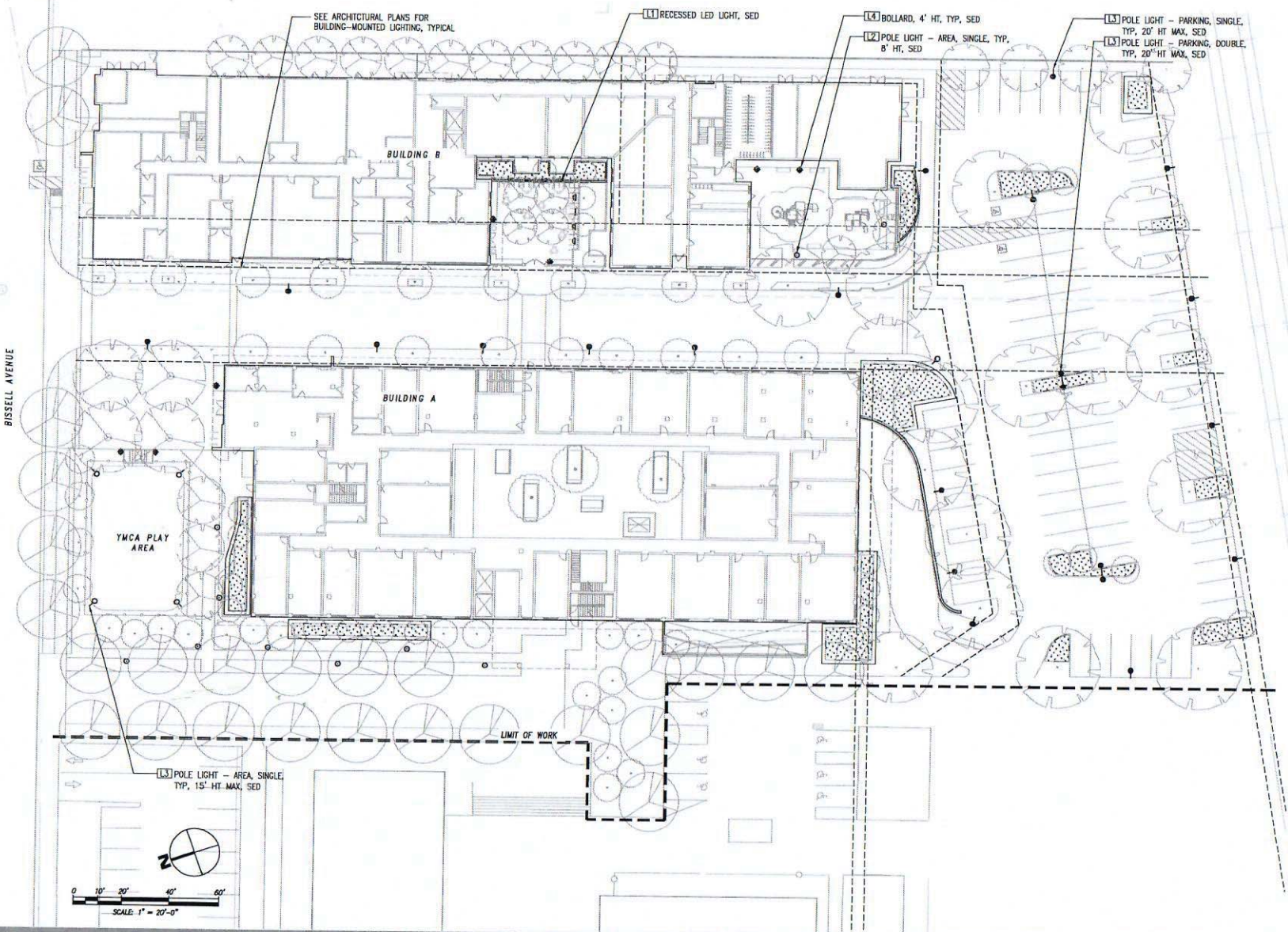
1. THESE PLANS SHALL COMPLY WITH THE CRITERIA OF THE CALIFORNIA MODEL WATER EFFICIENCY ORDINANCE, EMWD SECTION 31, AND 'BAY-FRIENDLY' BASICS AND APPLY THE ASSOCIATED CRITERIA FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN.
2. SOIL MANAGEMENT REPORT: UPON COMPLETION OF MASS GRADING, CONTRACTOR TO PROVIDE AGRICULTURAL SOIL ANALYSIS DONE BY A QUALIFIED SOIL-TESTING LABORATORY. SOIL ANALYSIS LAB TO MAKE RECOMMENDATIONS FOR AMENDING THE TOPSOIL WITH COMPOST TO BRING ORGANIC MATTER TO A MINIMUM OF 3.5% DRY WEIGHT.
3. ALL PLANTING AREAS SHALL BE TOP-DRESSED WITH A 3" LAYER OF ORGANIC MULCH.
4. STREET TREES TO BE MINIMUM OF 24" BOX SIZE STANDARD TRUNK WITH STAKES..

PLANT PALETTE

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	WTR USE
STREET TREES					
	TBD PER CITY ARBORIST	TBD	24" BOX	PER PLAN	-
LANDSCAPE TREES					
	GINGKO BILOBA 'AUTUMN GOLD'	MAIDENHAIR TREE	24" BOX	PER PLAN	M
	LOPHOSTEMON CONFERTUS	BRISBANE BOX	36" BOX	PER PLAN	M
	PODOCARPUS GRACILIOR	FERN PODOCARPUS	24" BOX	PER PLAN	M
	QUERCUS AGRIFOLIA	COAST LIVE OAK	24" BOX	PER PLAN	L
	TRISTANOPSIS LAURINA	WATER GUM	24" BOX	PER PLAN	M
SMALL ACCENT TREES					
	ACER PALMATUM	JAPANESE MAPLE	24" BOX	PER PLAN	M
	CERCIS OCCIDENTALIS*	WESTERN REDBUD	24" BOX	PER PLAN	L
	LAGERSTROEMIA 'MUSKOGEE'	GRAPE MYRTLE	24" BOX	PER PLAN	L
LARGE SHRUBS					
	DODONAEA VISCOSA 'PURPUREA'	PURPLELEAF HOP BUSH	5 GAL	6'-0" OC	L
	PITTOSPORUM TOBIRA	MOCK ORANGE	15 GAL	5'-0" OC	L
	RHAMNUS CALIFORNICA	COFFEEBERRY	5 GAL	5'-0" OC	L
MEDIUM SHRUBS, GRASSES, & PERENNIALS					
	ACACIA COGNATA 'COUSIN ITT'	LITTLE RIVER WATTLE	5 GAL	3'-0" OC	L
	AGAVE ATTENUATA 'NOVA'	BLUE FOX TAIL AGAVE	5 GAL	3'-0" OC	L
	BUXUS 'GREEN MOUNTAIN'	GREEN MNTN BOXWOOD	5 GAL	3'-0" OC	M
	CORREA 'WYNS WONDER'	AUSTRALIAN FLUCHSIA	5 GAL	3'-0" OC	L
	LOROPETALUM 'SUZANNE'	FRINGE FLOWER	5 GAL	4'-0" OC	L
	MUHLBERGIA RIGENS	DEER GRASS	1 GAL	4'-0" OC	L
	PHORMIUM HYBRID	NEW ZEALAND FLAX	5 GAL	3'-0" OC	L
	PITTOSPORUM CRASSIFOLIUM VAREGATA	VAREGATED MOCK ORANGE	5 GAL	4'-0" OC	L
	POLYSTICHUM MUNIUM	WESTERN SWORD FERN	1 GAL	3'-0" OC	M
	SALVIA LEUCANTHA	MEXICAN SAGE	1 GAL	3'-0" OC	L
SMALL SHRUBS, GRASSES, & PERENNIALS					
	ACHILLEA SP	YARROW	1 GAL	2'-0" OC	L
	ASPIDISTRA ELATIOR	CAST IRON PLANT			
	CLIVIA MINIATA	NATAL LILY	5 GAL	3'-0" OC	L
	DIETES BICOLOR	FORTNIGHT LILY	1 GAL	3'-0" OC	L
	LIMONIUM PEREZII	SEA LAVENDER	1 GAL	3'-0" OC	L
	LIRIOPE 'SILVER DRAGON'	SILVERLY LILYTURF	1 GAL	2'-0" OC	M
GROUNDCOVERS					
	ARCTOSTAPHYLOS UVA URSI 'GREEN SUPREME'	GRN. SUPREME MANZANITA	1 GAL	5'-0" OC	L
	SARCOCOCCA HUMILIS HOOKERIANA	SWEET BOX	5 GAL	4'-0" OC	L
	SEDUM SPP.	STONECROP	1 GAL	1'-0" OC	L
VINES					
	HARDENBERGIA VIOLACEA	PURPLE LILAC VINE	5 GAL	PER PLAN	L
	TRACHELOSPERMUM JASMINOIDES	STAR JASMINE	5 GAL	PER PLAN	M
STORMWATER PLANTING MIX					
	ACHILLEA MILLEFOLIUM (UPLAND)	YARROW	1 GAL	2'-0" OC	L
	CAREX DIVULSA (BANKS)	BERKELEY SEDGE	1 GAL	2'-0" OC	L
	CHONDROPETALUM TEC. (BASIN)	CAPE RUSH	1 GAL	3'-0" OC	L
	JUNCUS PATENS (BASIN)	RUSH	1 GAL	2'-0" OC	L
	PENSTEMON HET. (UPLAND)	BEARD TONGUE	1 GAL	2'-0" OC	L

NOTES:
1. * DENOTES PLANTS ALSO COMPATIBLE WITH STORMWATER PLANTING.

100 38TH STREET SUPPORTIVE AND FAMILY APARTMENTS



100 38TH STREET SUPPORTIVE AND FAMILY APARTMENTS
 100 38TH STREET, RICHMOND, CA

8/2/2022

19047



LANDSCAPE LIGHTING

L4.1

DESIGN NARRATIVE

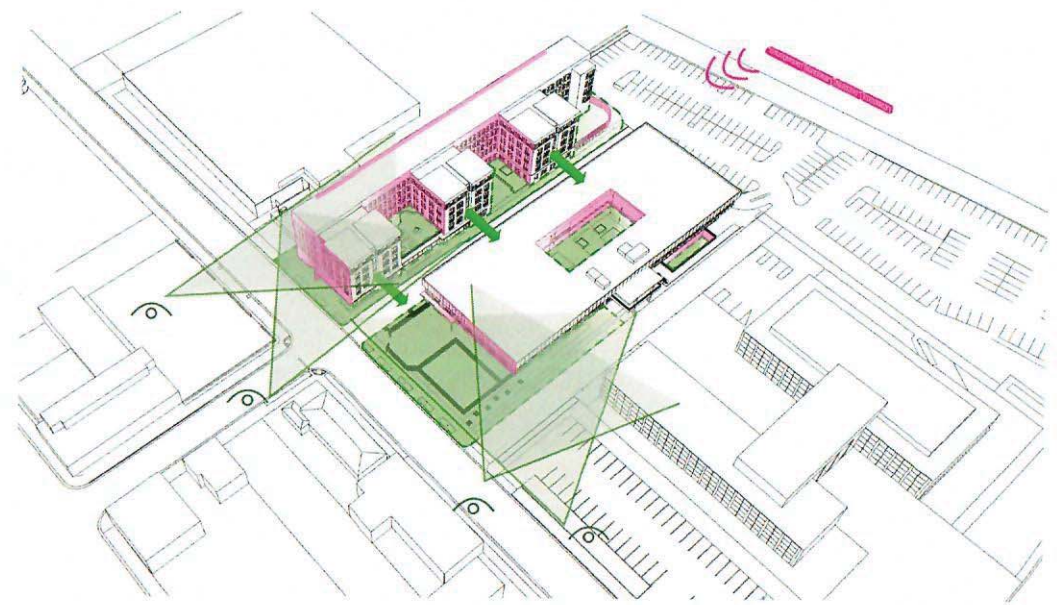
The decommissioned Richmond Health Center was built in 1966 and currently occupies the site. The building is located adjacent to the still functioning courthouse and its public plaza.

The 100 38th Street proposal will create a new campus of two multi-family housing buildings. One is an adaptive reuse of the existing health center, transforming it into a supportive housing building, but retaining its unique architectural features. The architecture of the Supportive Housing building is aimed at opening up the existing building by cutting a large opening at the center to create a central courtyard. The existing building's facade has a series of fins surrounding all four sides of the second level. As part of the proposed adaptive reuse, some fins are strategically removed to create rhythm along the facade and ornamental railings are added to evoke a residential scale. The fins are also painted and turned perpendicular to the exterior wall to provide optimal solar shading.

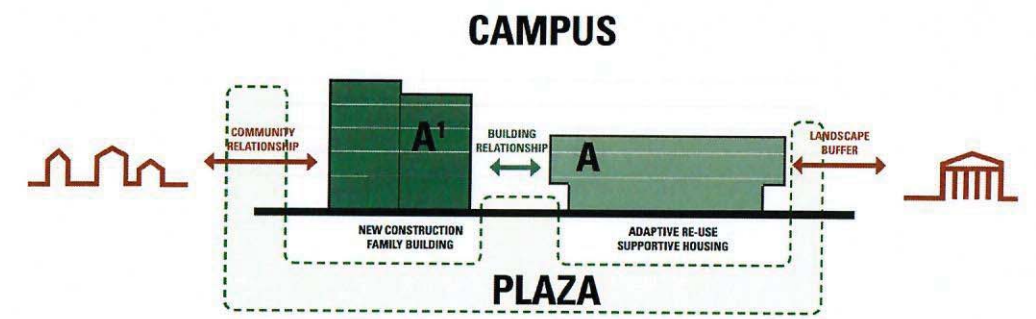
The adaptive reuse approach is environmentally sustainable by preserving the building structure and envelope. Renovation provides opportunities for increased energy efficiency through the application of photovoltaic panels, upgrading to high efficiency fixtures and mechanical systems, and high performance glazing systems. The existing basement will be converted into additional parking and meeting spaces for the new residential community. The project will bring new life and public art to a new plaza on Bissell Street. Demolishing the existing non-ADA compliant ramp and regrading a portion of the courthouse plaza, simplifies overall site circulation. A large private outdoor open space north of the Supportive Housing building, is to be used by residents and reinforces the residential campus atmosphere.

The second building is proposed as a new construction affordable family housing building with ground floor commercial space on the east side of the site. The new Family Building aims to create its own identity, yet still references the adjacent existing architecture. The form of the new building creates two courtyards which are sheltered from sound generated by BART trains. In reference to the existing Health Building, vertical fins are placed along the glazing at the top level. The project will retain some surface parking, but will also increase the site's ability to capture and treat stormwater through enhanced bioremediation features.

The colors of the two buildings are derived from the historic Rosie the Riveter poster, which is an important part of the City of Richmond's history. Overall, the project envisions the rehabilitation and reuse of the architecturally intriguing Richmond Health Center, expanding housing opportunities, and reestablishing the site as a community asset in support of the greater revitalization of the Macdonald Avenue gateway to Downtown Richmond.



CONTEXT & BUILDING DIAGRAM



CAMPUS & ADJACENCY DIAGRAM

8/16/2022 1:43 PM
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User: jason@bar.com



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100 38TH STREET SUPPORTIVE AND FAMILY APARTMENTS

100 38TH STREET, RICHMOND, CA

PERSPECTIVE

08/02/2022

19047

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A003



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100 38TH STREET SUPPORTIVE AND FAMILY APARTMENTS

100 38TH STREET, RICHMOND, CA

08/02/2022

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PERSPECTIVE

A001



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100 38TH STREET SUPPORTIVE AND FAMILY APARTMENTS

100 38TH STREET SUPPORTIVE AND FAMILY APARTMENTS

100 38TH STREET, RICHMOND, CA

PERSPECTIVE

08/02/2022

19047

BAR architects

 **EDEN** HOUSING  **CHDC**

A002



E: 510.222.4131 W: www.bar-architects.com

100 38TH STREET SUPPORTIVE AND FAMILY APARTMENTS
100 38TH STREET, RICHMOND, CA

PERSPECTIVE

08/02/2022

19047

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A004



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100 38TH STREET SUPPORTIVE AND FAMILY APARTMENTS
100 38TH STREET, RICHMOND, CA

PERSPECTIVE

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A005



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100 38TH STREET SUPPORTIVE AND FAMILY APARTMENTS
100 38TH STREET, RICHMOND, CA

08/02/2022 19047 **BAR** architects EDEN CHDC PERSPECTIVE **A006**



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100 38TH STREET SUPPORTIVE AND FAMILY APARTMENTS

100 38TH STREET SUPPORTIVE AND FAMILY APARTMENTS
100 38TH STREET, RICHMOND, CA

08/02/2022

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PERSPECTIVE

A007



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100 38TH STREET SUPPORTIVE AND FAMILY APARTMENTS

100 38TH STREET, RICHMOND, CA

PERSPECTIVE

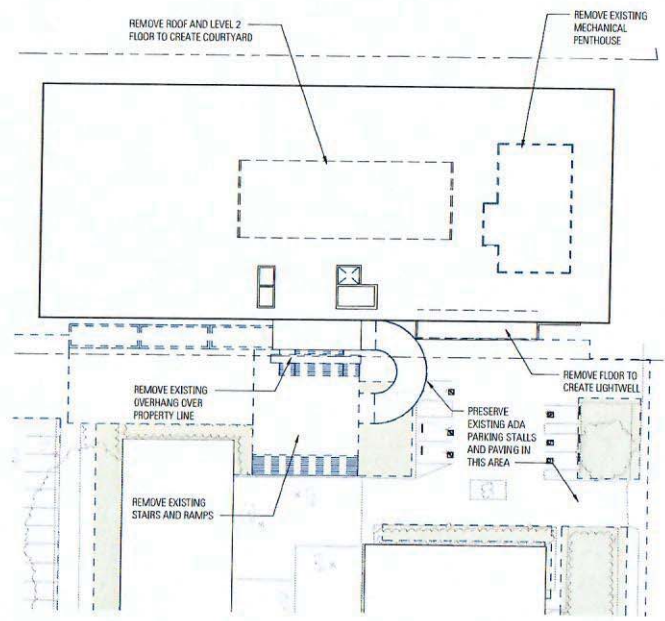
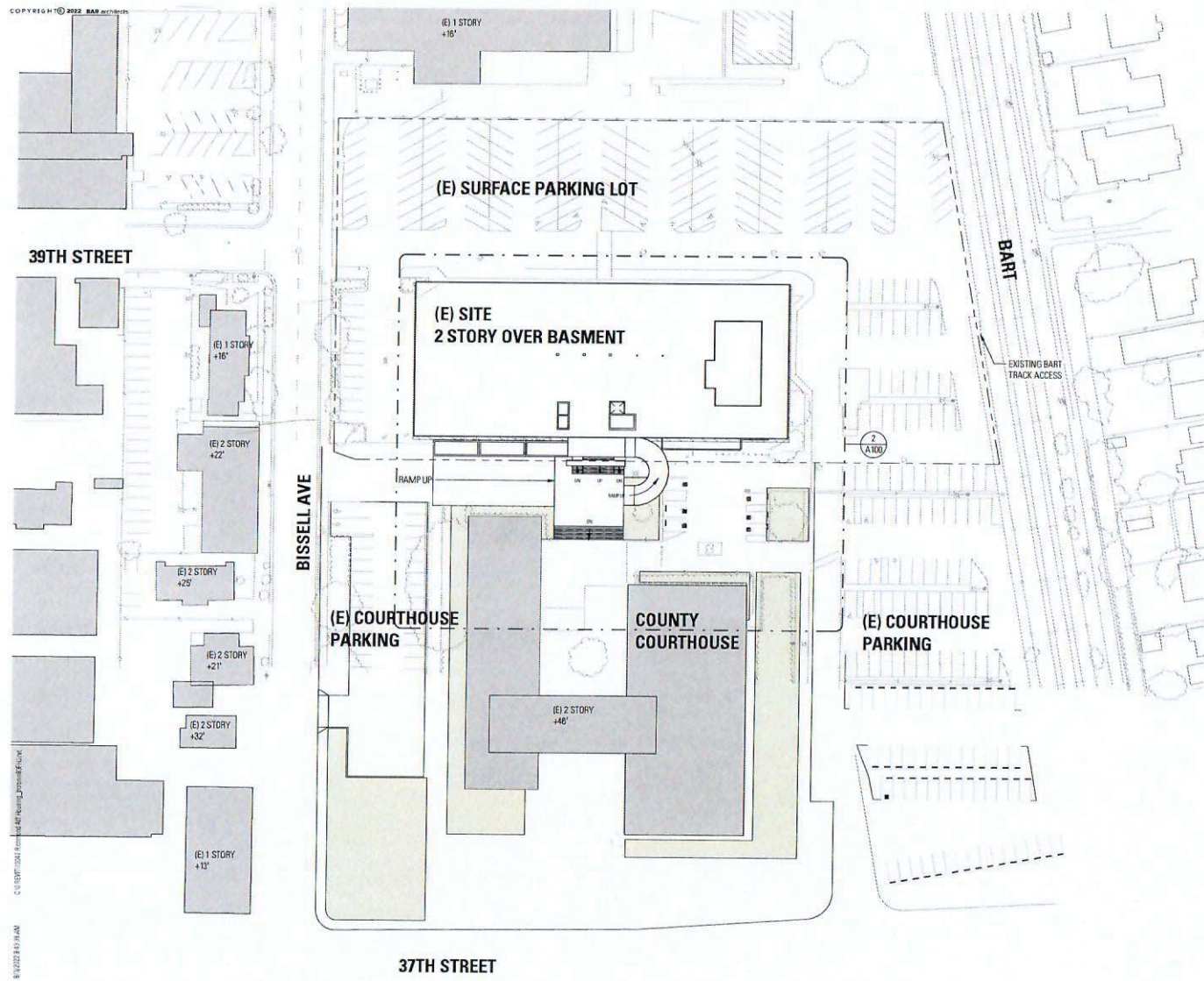
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19047

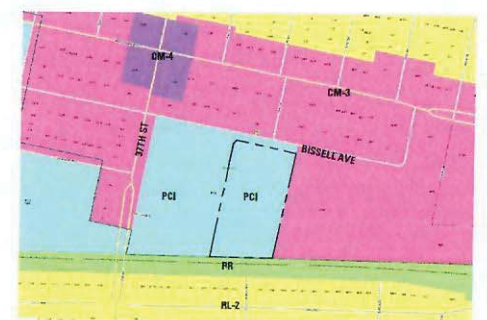
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A008



2 PROPOSED DEMO PLAN
A100 1" = 30'-0"



EXISTING ZONING PLAN
NOT TO SCALE



100 38TH STREET SUPPORTIVE AND FAMILY APARTMENTS
100 38TH STREET, RICHMOND, CA

08/02/2022

19047

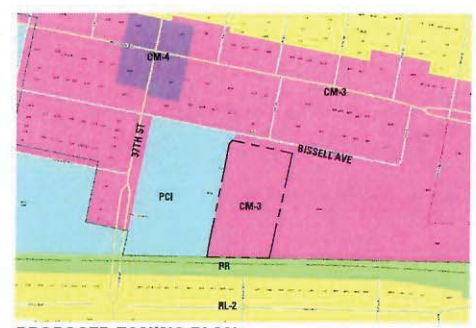
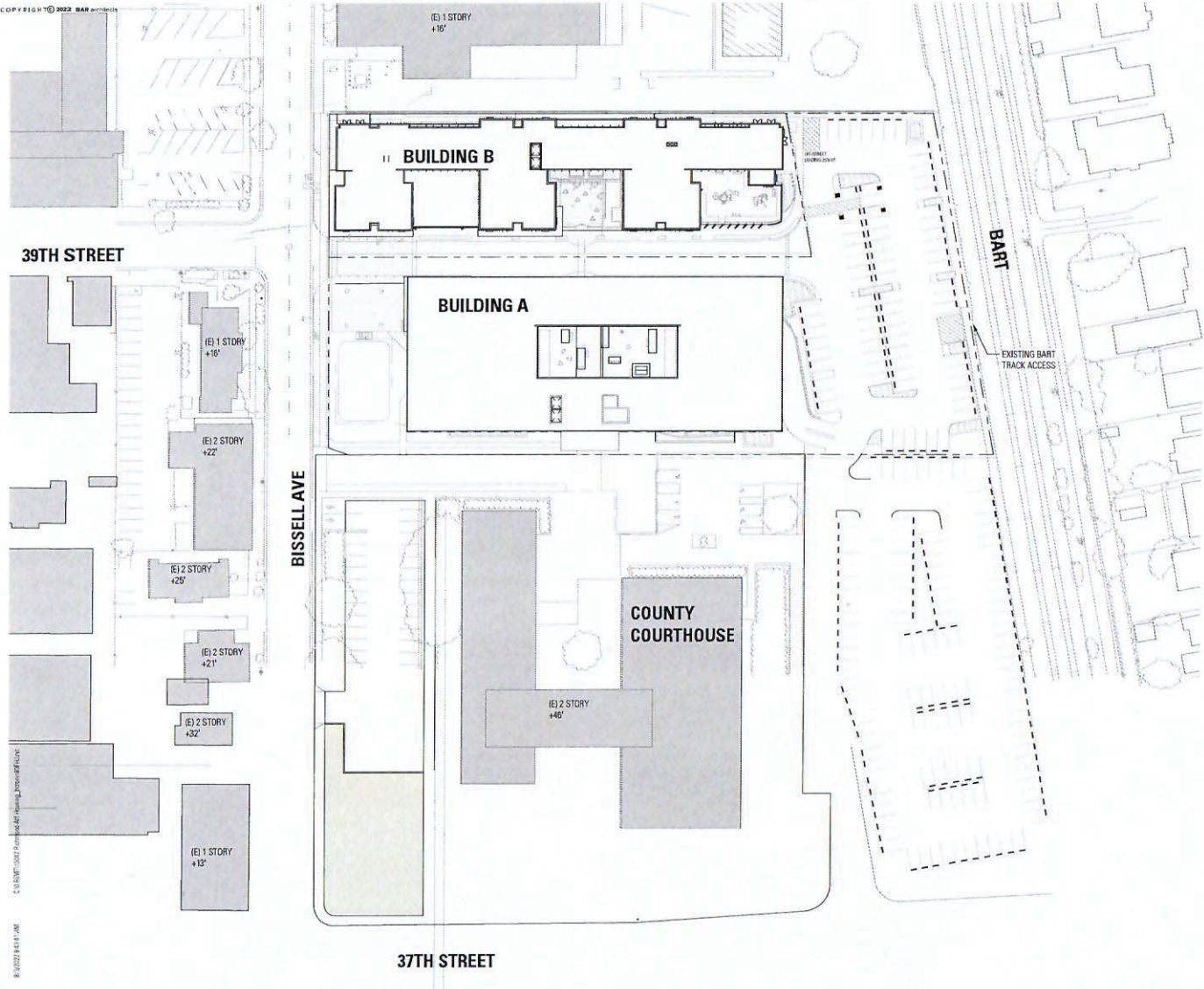
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A100

EXISTING/DEMOLITION SITE PLAN

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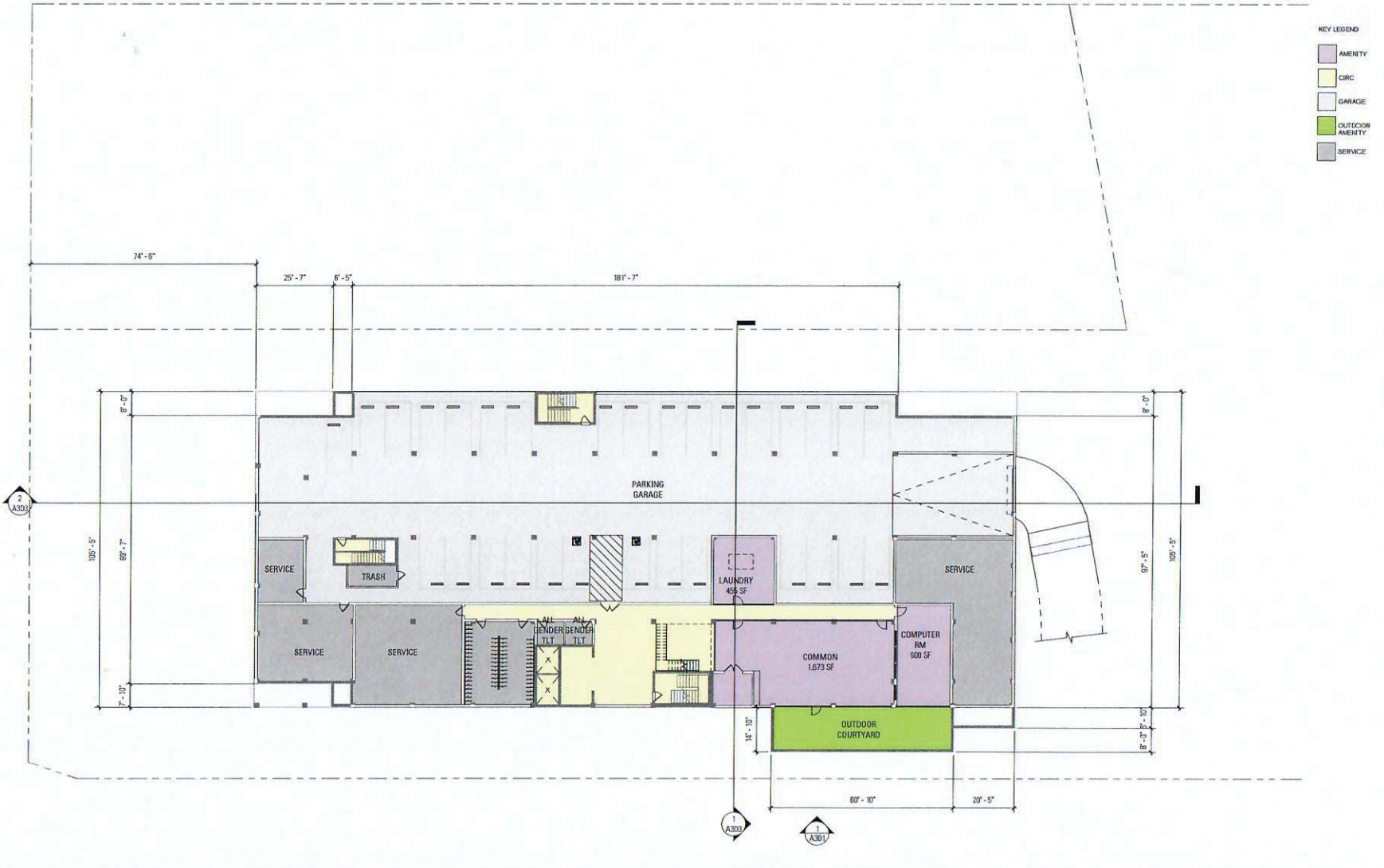
PROPOSED ZONING PLAN
NOT TO SCALE



100 38TH STREET SUPPORTIVE AND FAMILY APARTMENTS
 100 38TH STREET, RICHMOND, CA

PROPOSED SITE PLAN

08/02/2022	19047	BAR architects			A101
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100 38TH STREET SUPPORTIVE AND FAMILY APARTMENTS
 100 38TH STREET, RICHMOND, CA

08/02/2022

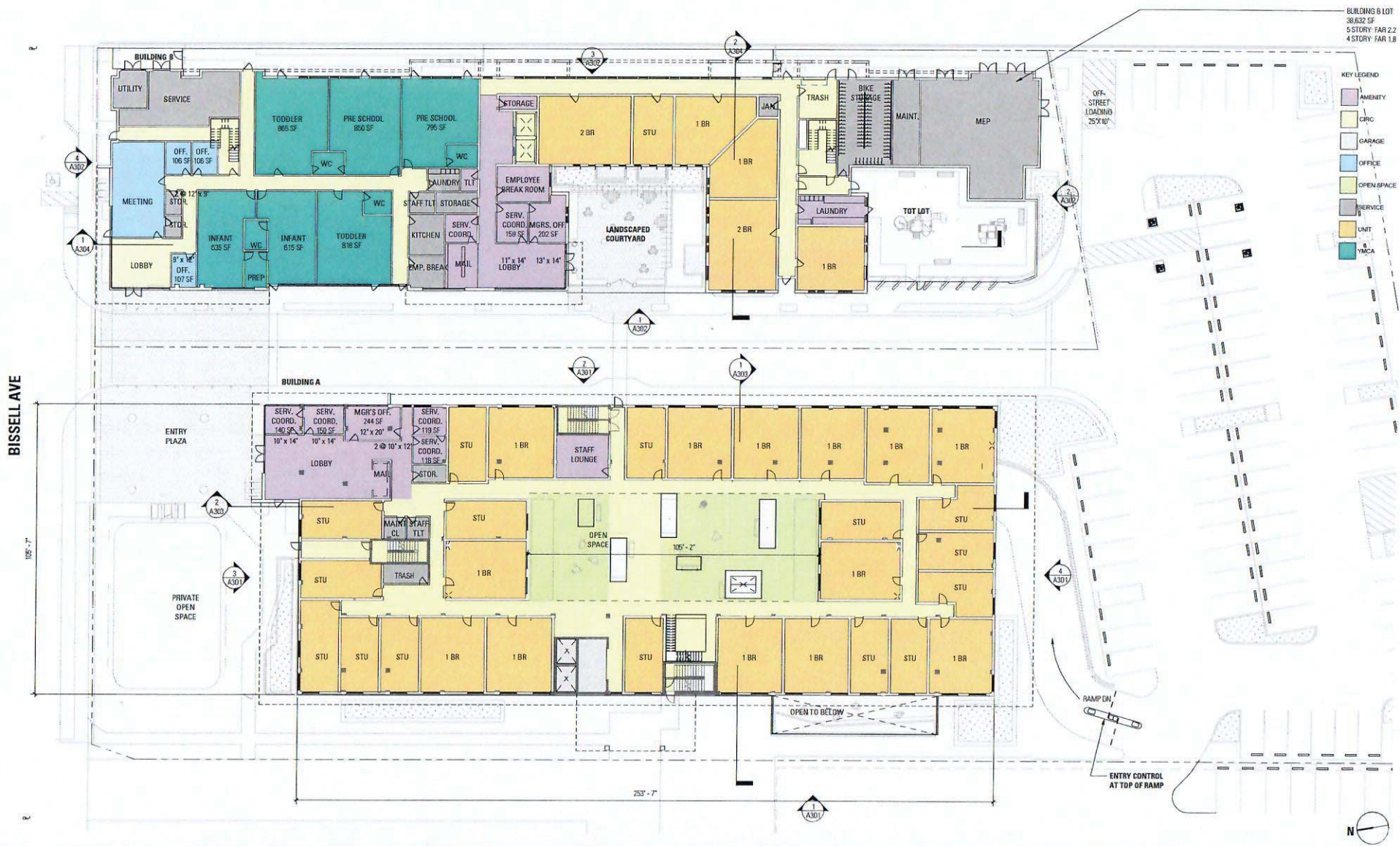
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A200





100 38TH STREET SUPPORTIVE AND FAMILY APARTMENTS

100 38TH STREET, RICHMOND, CA

FLOOR PLAN - LEVEL 1

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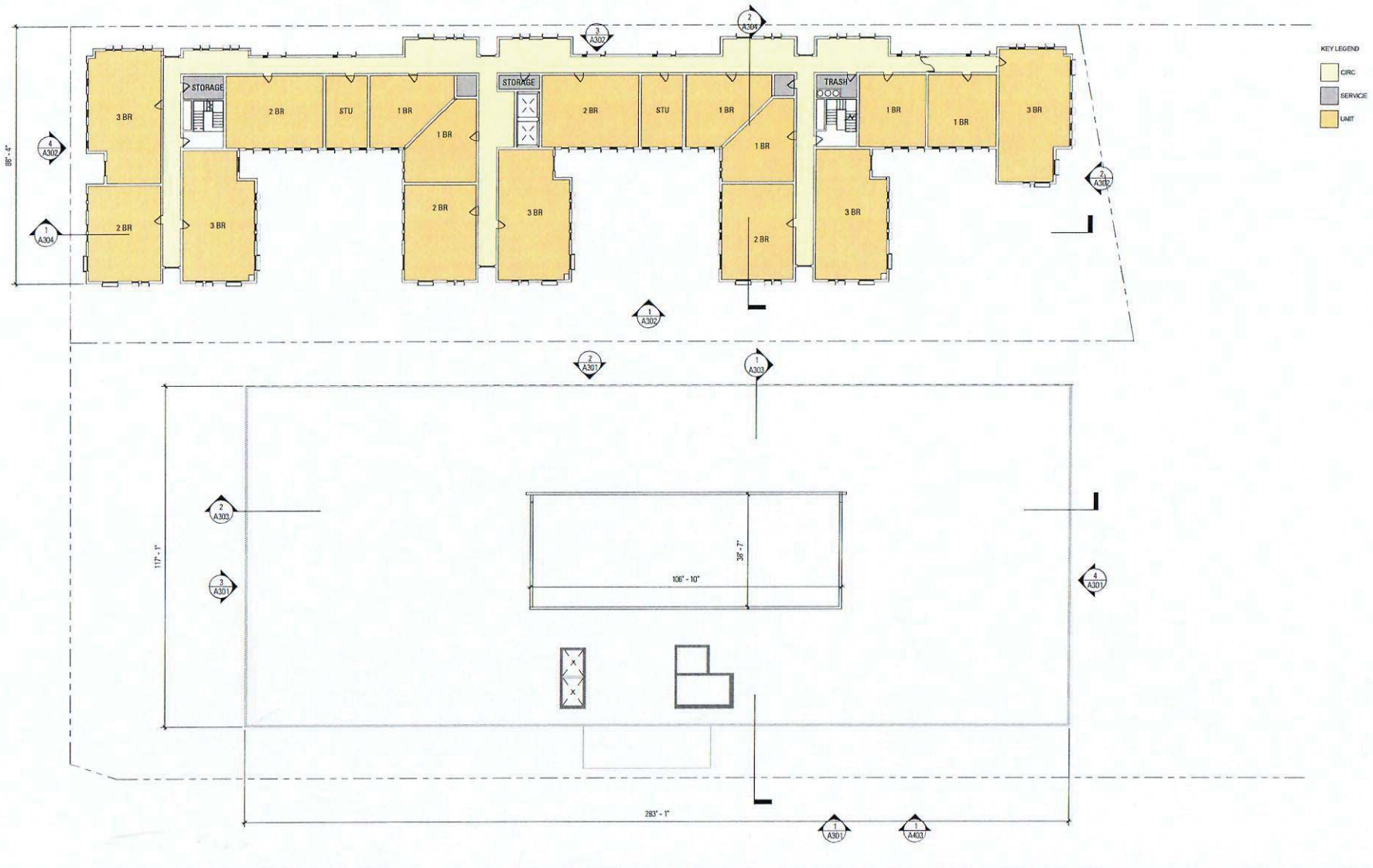
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100 38TH STREET SUPPORTIVE AND FAMILY APARTMENTS
 100 38TH STREET, RICHMOND, CA

FLOOR PLAN - LEVEL 3

08/02/2022

19047

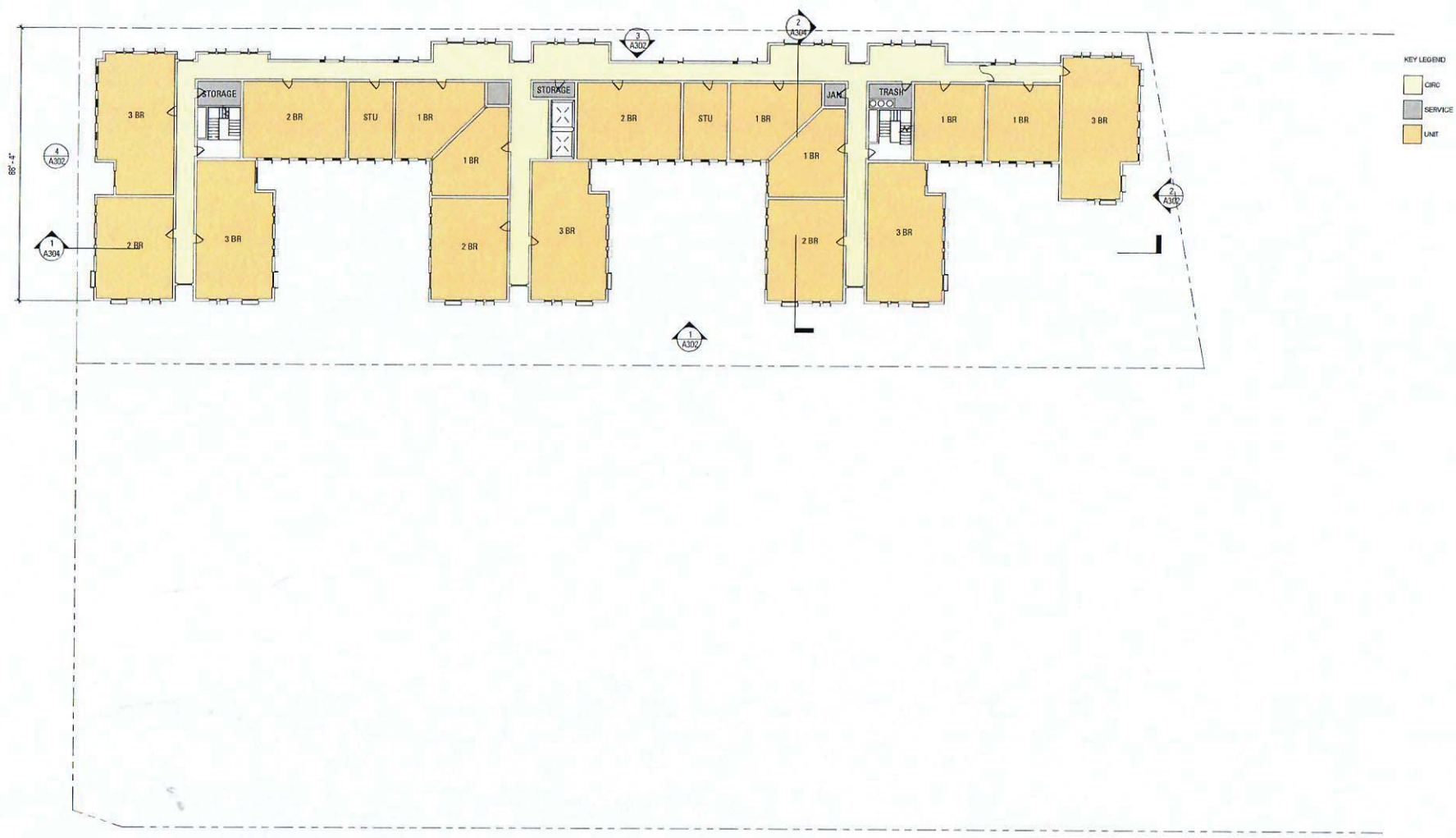
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EDEN HOMES CHDC



A203

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100 38TH STREET SUPPORTIVE AND FAMILY APARTMENTS
 100 38TH STREET, RICHMOND, CA

FLOOR PLAN - LEVEL 4

08/02/2022

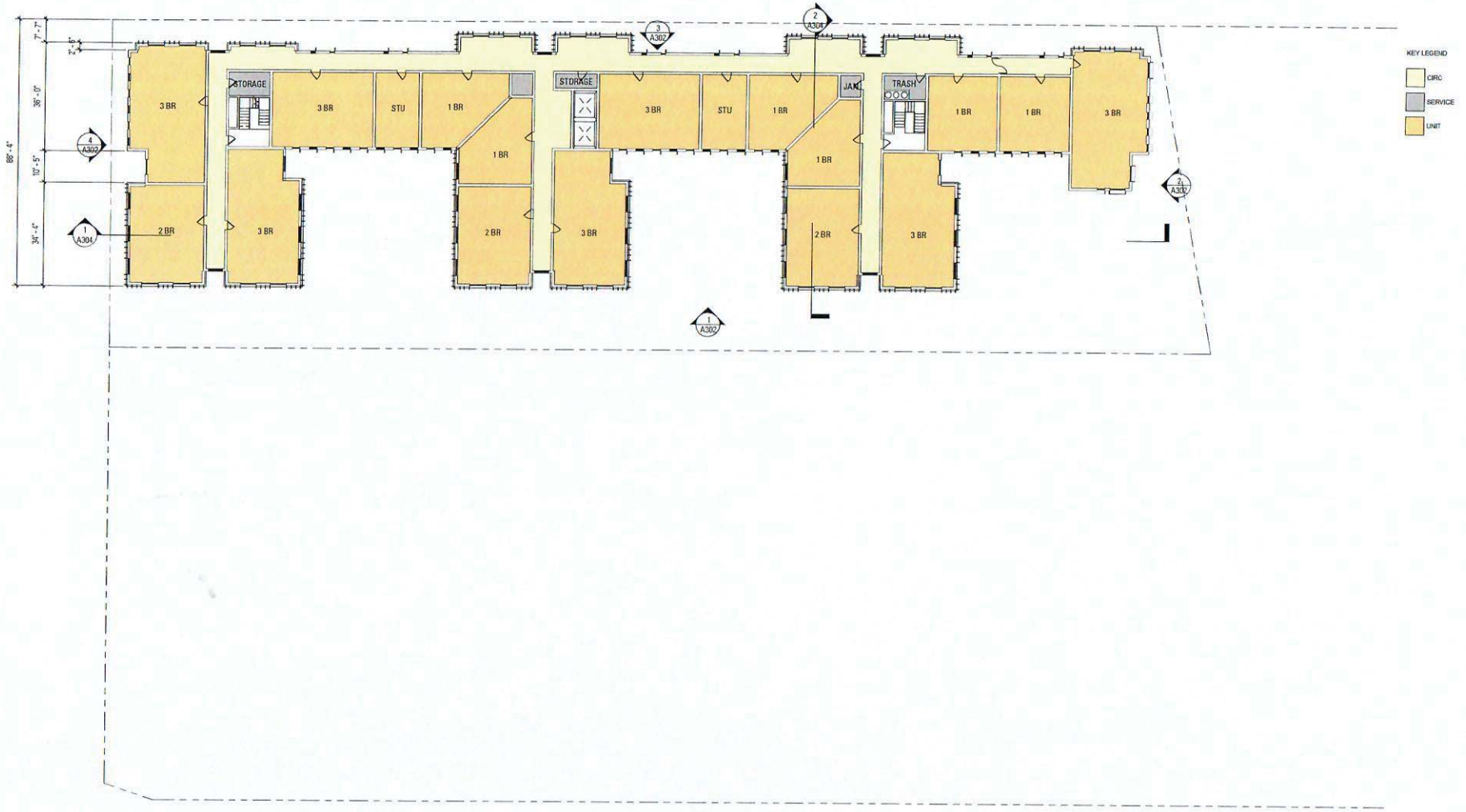
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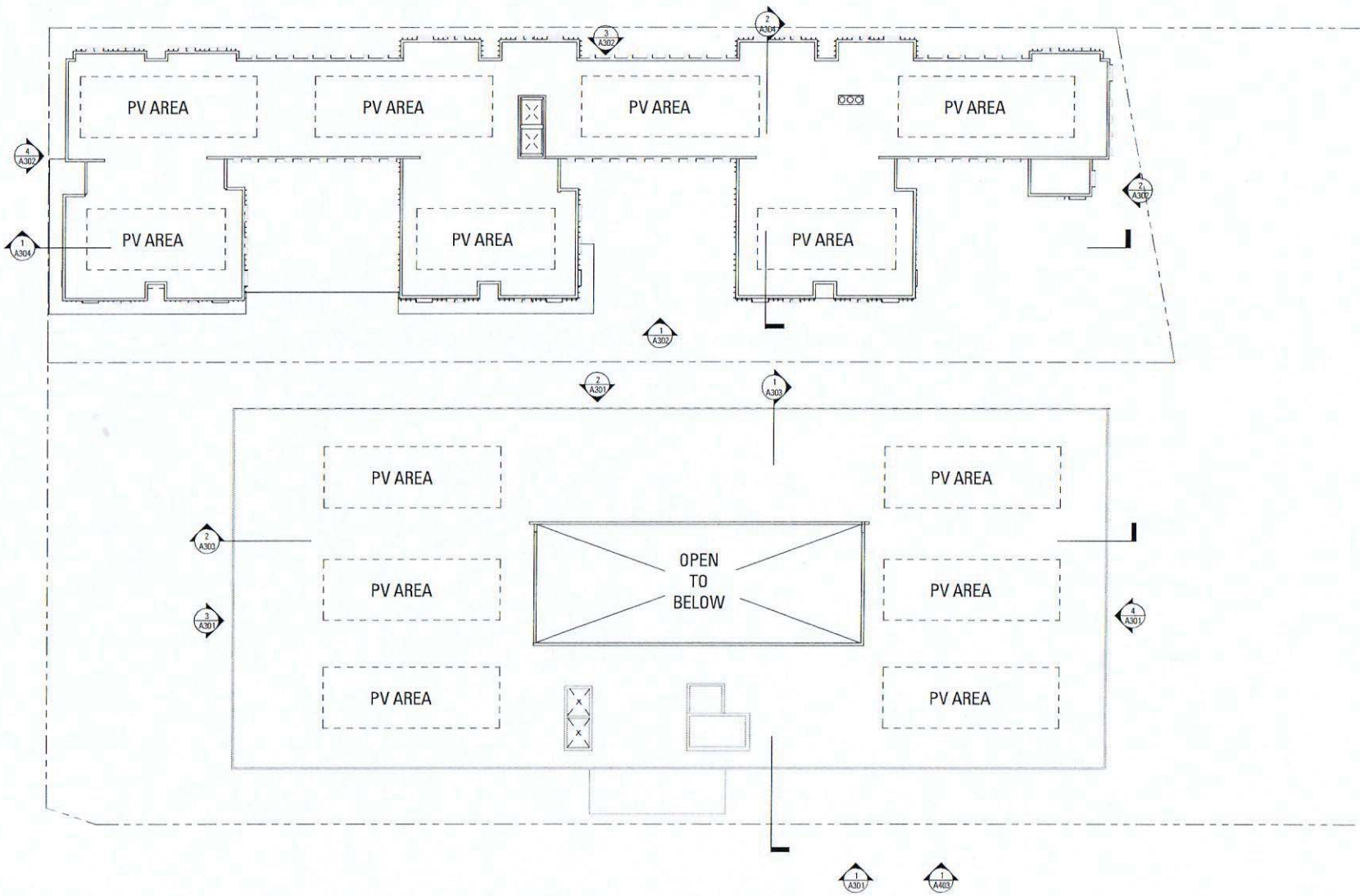
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100 38TH STREET SUPPORTIVE AND FAMILY APARTMENTS

100 38TH STREET, RICHMOND, CA

08/02/2022

19047

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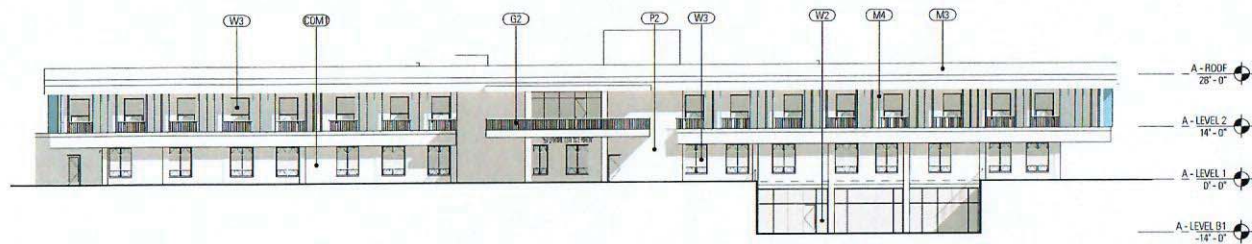
ROOF PLAN

A206

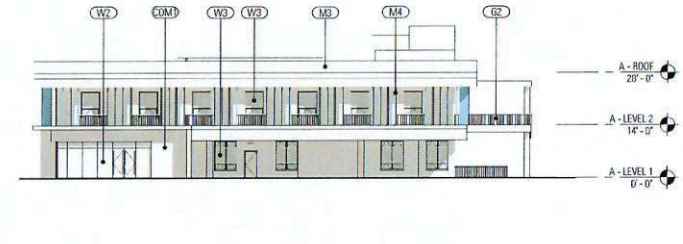


MATERIAL LEGEND

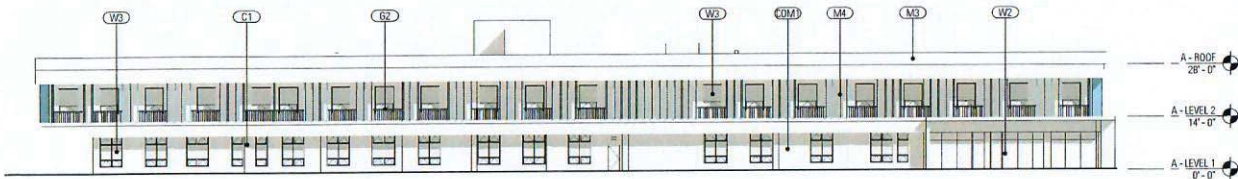
- C1 - EXISTING CONCRETE
- COM1 - COMPOSITE PANEL
- G2 - GLAZIARAIL
- M1 - CORRUGATED METAL (ALT. CEMENT PLASTER)
- M2 - PAINTED METAL FINIS
- M3 - PAINTED (E) PORCELAIN ENAMEL PANEL
- M4 - PAINTED (E) PORCELAIN ENAMEL FINIS
- M5 - STEEL CANOPY
- P1 - PAINTED EIFS (ALT. CEMENT PLASTER)
- P2 - PAINTED EIFS (ALT. CEMENT PLASTER)
- P3 - PAINTED EIFS (ALT. CEMENT PLASTER)
- P4 - PAINTED EIFS (ALT. CEMENT PLASTER)
- P5 - PAINTED EIFS (ALT. CEMENT PLASTER)
- W1 - VINYL WINDOWS
- W2 - STOREFRONT WINDOWS
- W3 - ALUMINUM WINDOWS



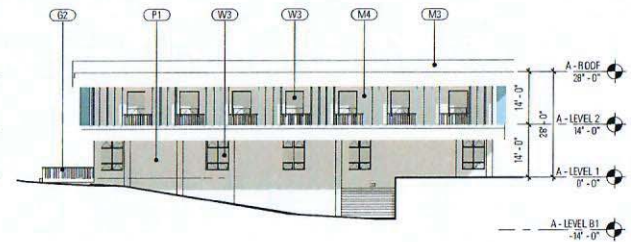
1 WEST ELEVATION - BLDG A
A301 1/16" = 1'-0"



3 NORTH ELEVATION - BLDG A
A301 1/16" = 1'-0"



2 EAST ELEVATION - BLDG A
A301 1/16" = 1'-0"



4 SOUTH ELEVATION - BLDG A
A301 1/16" = 1'-0"

MATERIAL LEGEND

- C1 - EXISTING CONCRETE
- COM1 - COMPOSITE PANEL
- G2 - GUARDRAIL
- M1 - CORRUGATED METAL (ALT. CEMENT PLASTER)
- M2 - PAINTED METAL FINIS (ALT. CEMENT PLASTER)
- M3 - PAINTED (E) PORCELAIN ENAMEL PANEL
- M4 - PAINTED (E) PORCELAIN ENAMEL FINIS
- M5 - STEEL CANOPY
- P1 - PAINTED EPS (ALT. CEMENT PLASTER)
- P2 - PAINTED EPS (ALT. CEMENT PLASTER)
- P3 - PAINTED EPS (ALT. CEMENT PLASTER)
- P4 - PAINTED EPS (ALT. CEMENT PLASTER)
- P5 - PAINTED EPS (ALT. CEMENT PLASTER)
- W1 - VINYL WINDOWS
- W2 - STOREFRONT WINDOWS
- W3 - ALUMINUM WINDOWS



2 SOUTH ELEVATION - BLDG B
A302 1/16" = 1'-0"



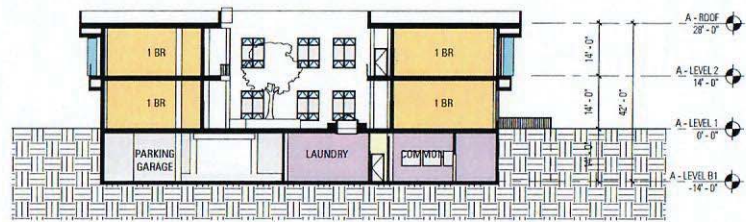
3 EAST ELEVATION - BLDG B
A302 1/16" = 1'-0"



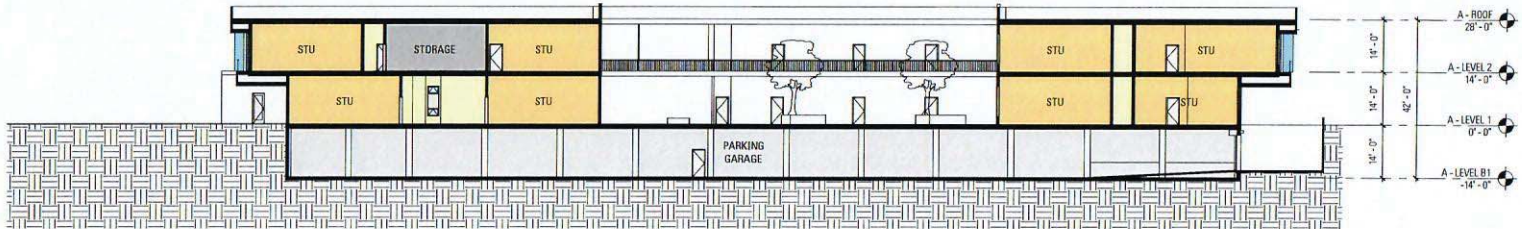
4 NORTH ELEVATION - BLDG B
A302 1/16" = 1'-0"



1 WEST ELEVATION - BLDG B
A302 1/16" = 1'-0"



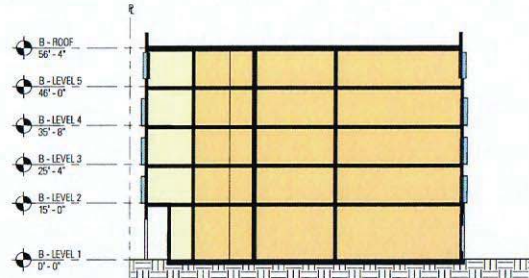
1 CROSS SECTION - BLDG A
A303 1/16" = 1'-0"



2 LONGITUDINAL SECTION - BLDG A
A303 1/16" = 1'-0"

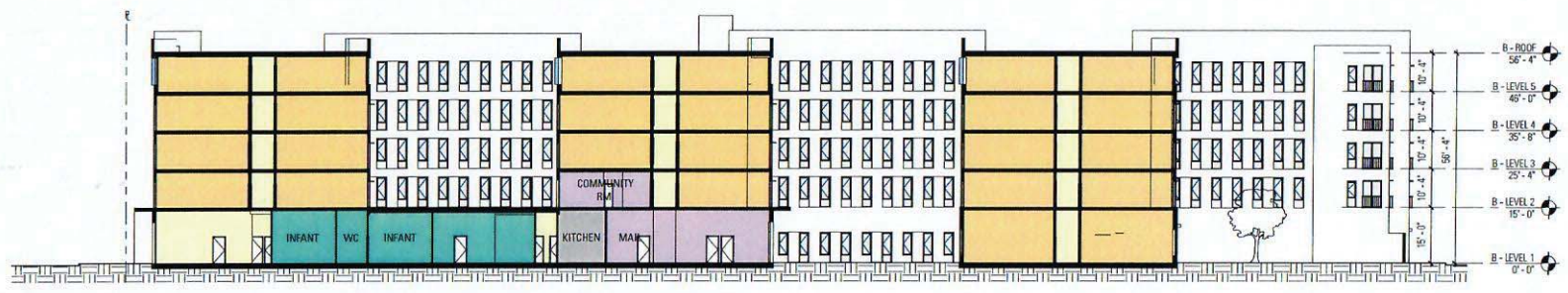
- KEY LEGEND
- AMENITY
 - CIRC
 - GARAGE
 - OFFICE
 - OPEN SPACE
 - OUTDOOR AMENITY
 - RETAIL
 - SERVICE
 - UNIT
 - YMCA

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2 CROSS SECTION - BLDG B
A304 1/16" = 1'-0"

- KEY LEGEND
- AMENITY
 - CIRC
 - GARAGE
 - OFFICE
 - OPEN SPACE
 - OUTDOOR AMENITY
 - RETAIL
 - SERVICE
 - UNIT
 - YMCA



1 LONGITUDINAL SECTION - BLDG B
A304 1/16" = 1'-0"



1 WEST ELEVATION - BLDG B
A401 1/16" = 1'-0"

PRODUCT DETAILS
*COM1 TO BE THERMORY 1x4 CLADDING, COLOR "WHITE ASH", OR EQUAL
**M1 TO BE FINISHED IN KYMAR, COLOR "BUCKSKIN", OR EQUAL



2 WEST ELEVATION - BLDG A
A401 1/16" = 1'-0"

PRODUCT DETAILS
*COM1 TO BE THERMORY 1x4 CLADDING, COLOR "WHITE ASH", OR EQUAL

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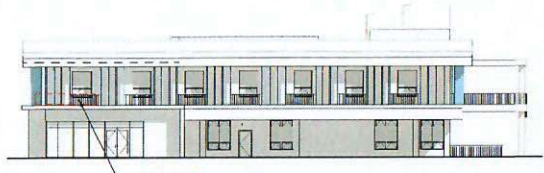


1 EAST ELEVATION - BLDG B
A401A 1/16" = 1'-0"

PRODUCT DETAILS
 *COM1 TO BE THERMORY 1x4 CLADDING, COLOR "WHITE ASH", OR EQUAL
 **M1 TO BE FINISHED IN KYNAR, COLOR "BUCKSKIN", OR EQUAL

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4 NORTH ELEVATION - BLDG A - SIGNAGE
A402 1/16" = 1'-0"



3 WEST ELEVATION - BLDG A - SIGNAGE
A402 1/16" = 1'-0"

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100 38TH STREET, RICHMOND, CA 94801
100 38TH STREET SUPPORTIVE AND FAMILY APARTMENTS
100 38TH STREET, RICHMOND, CA 94801

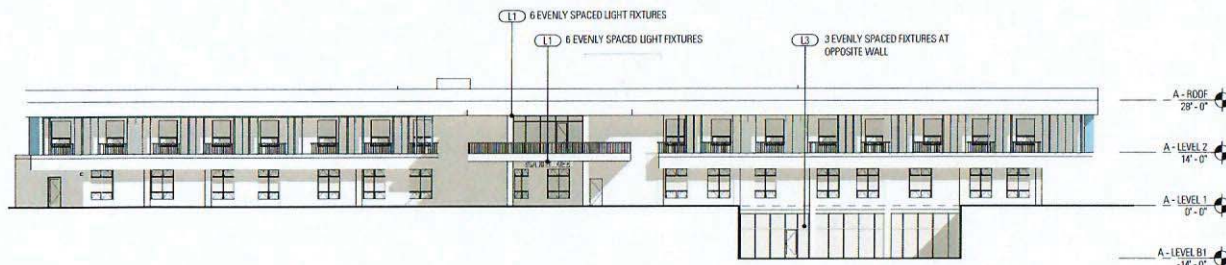


1 NORTH ELEVATION - BLDG B - SIGNAGE
A402 1/16" = 1'-0"



5 WEST ELEVATION - BLDG B - SIGNAGE
A402 1/16" = 1'-0"

EXTERIOR BLDG LIGHTING LEGEND
 L1 - FLUSH MOUNTED PENDANT
 L2 - RECTANGULAR LIGHT
 L3 - WALL MOUNTED SCOSCE



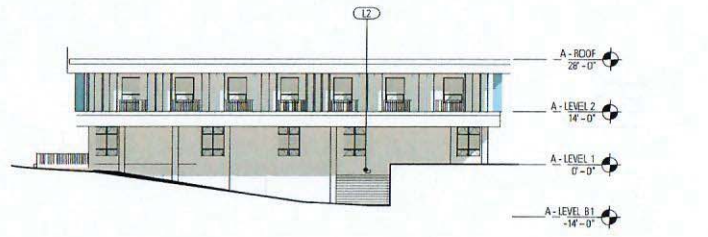
1 WEST ELEVATION - BLDG A
 A403 1/16" = 1'-0"



3 NORTH ELEVATION - BLDG A
 A403 1/16" = 1'-0"



2 EAST ELEVATION - BLDG A
 A403 1/16" = 1'-0"



4 SOUTH ELEVATION - BLDG A
 A403 1/16" = 1'-0"

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EXTERIOR BLDG LIGHTING LEGEND
 L1 - FLUSH MOUNTED PENDANT
 L2 - RECTANGULAR LIGHT
 L3 - WALL MOUNTED SCONCE



2 SOUTH ELEVATION - BLDG B
 1/16" = 1'-0"



3 EAST ELEVATION - BLDG B
 1/16" = 1'-0"



4 NORTH ELEVATION - BLDG B
 1/16" = 1'-0"



1 WEST ELEVATION - BLDG B
 1/16" = 1'-0"

9 AM

NOON

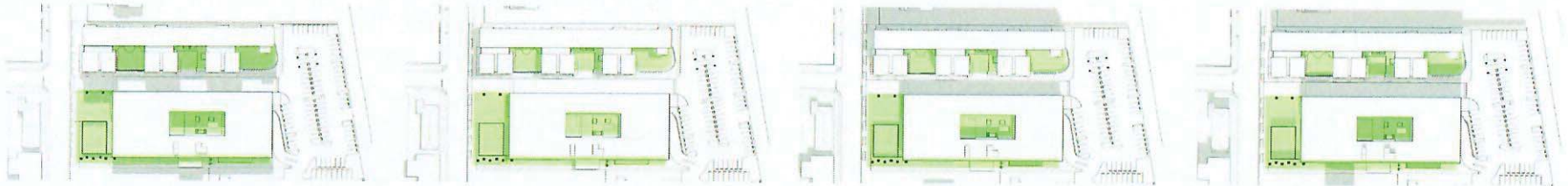
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5 PM

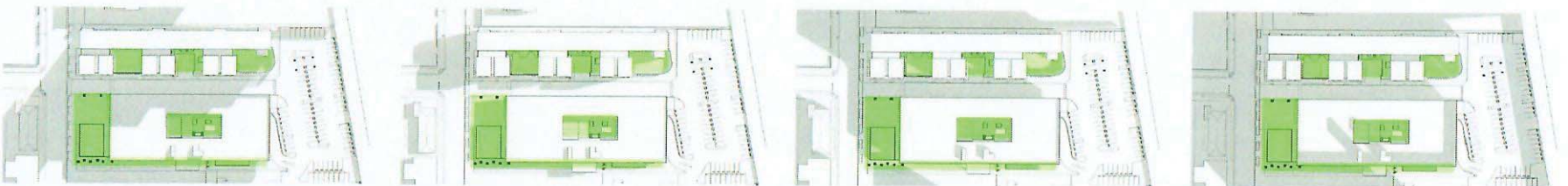
SPRING /
FALL
EQUINOX



SUMMER
SOLSTICE



WINTER
SOLSTICE



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SHADOW STUDY



100 38TH STREET SUPPORTIVE AND FAMILY APARTMENTS
100 38TH STREET, RICHMOND, CA

SHADOW STUDY

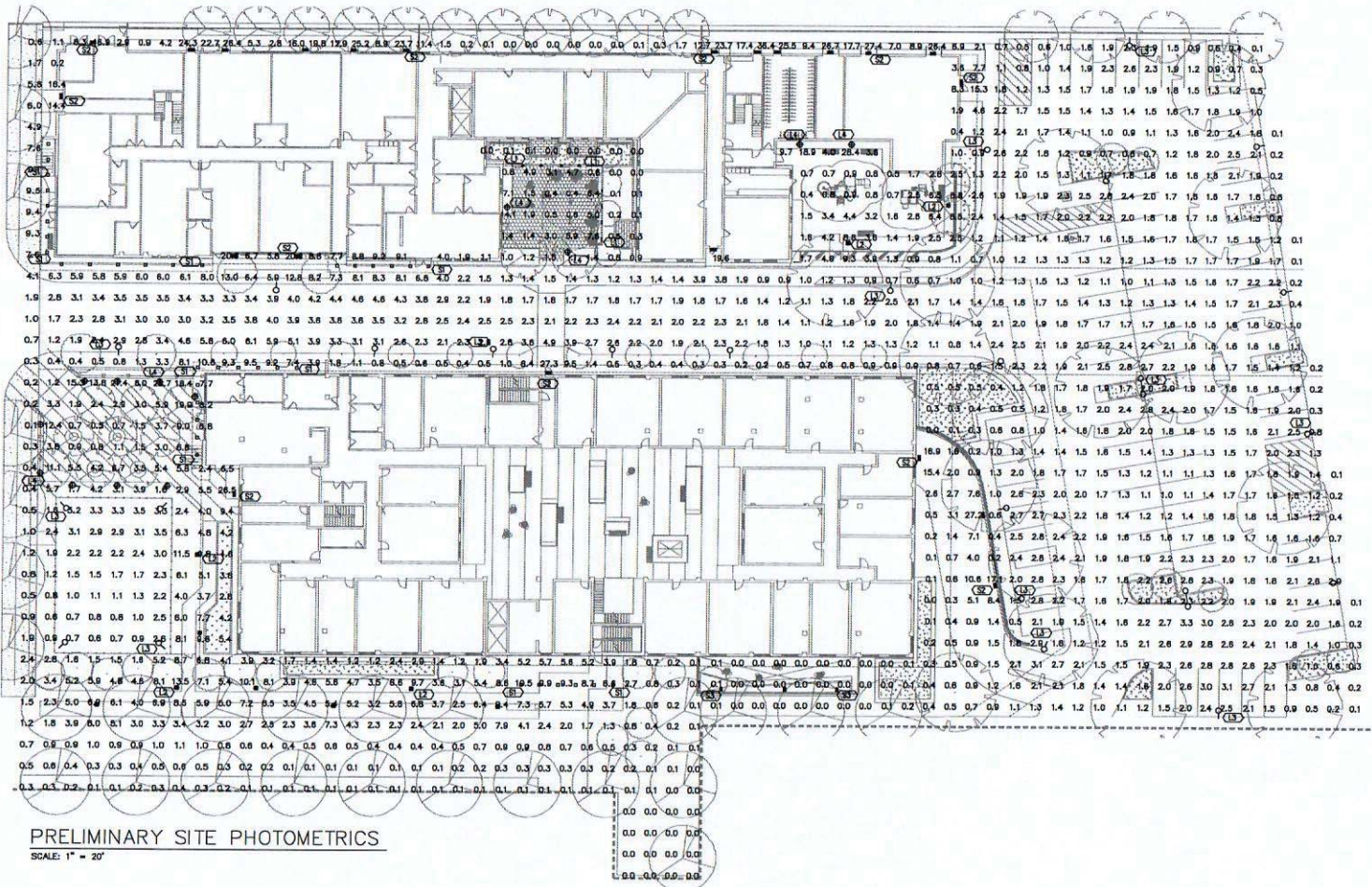
08/02/2022

19047

BAR architects



A501



PRELIMINARY SITE PHOTOMETRICS

SCALE: 1" = 20'

SITE PHOTOMETRICS LUMINAIRE SCHEDULE						
CALLOUT	SYMBOL	LAMP	DESCRIPTION	MODEL	INPUT VA	NOTES
L1	-	(1) 4.1W 3000K LED	RECESSED RECTANGULAR LED STEP LIGHT	BEGA 33-053-K3	4.1	
L2	-	(1) 33W 3000K LED	LED POST-TOP PEDESTRIAN POLE LIGHT, 8' POLE, HOUSE-SIDE SHIELD	SELUX MST-R3W-1-50350-30-10-BK-UNV-DM-HS	33	
L3	⊙	(1) 80W 3000K LED	EXTERIOR FULL CUTOFF, LED POLE LIGHT, TYPE IV OPTICS, INTEGRAL MOTION SENSOR, 15FT POLE	LUMENBLADE LUMENPULSE - BLDS-S0-120/277-CSL-180-30K-CRI-80-4 BLS	80	
L4	⊙	(1) 11.6W 3000K LED	LED BOLLARD	DESIGNPLAN BOULEVARD #009005P / BEGA #09-056-K3	11.6	
S1	◻	(1) 21W 3000K LED	SQUARE FLUSH MOUNT LED DOWNLIGHT, 10.5"	MAXIM LIGHTING TRIM I 57689WTRK	21	EXTERIOR RATED
S2	-	(1) 25W 3000K LED	RECTANGULAR LED WEDGE SCANCE	LITHONIA LIGHTING, WST LED P2 30K VW MVOLT	25	
S3	⦿	(1) E28 BASE	CYLINDRICAL UP/DOWN WALL, WASH. USE LED BULBS	KICHLER 9246BK	120	NO IES AVAILABLE SINCE BULB IS NOT INCLUDED WITH MODEL (S2 PHOTOMETRICS SUBSTITUTED). CONFIRM UPLIGHT PASSES BUG / DARK SKY. CONFIRM APPROPRIATE RATING FOR THE CONDITIONS (WET). CONFIRM ENERGY CODE COMPLIANCE.

NO.	DATE	DESCRIPTION	REVISIONS

DRAWN: DPR	CHECKED: ACF
DESIGNED: DPR	APPROVED: _____

21706 Highway 99
Lynnwood, WA 98036
TEL: 425-747-1200

EMERALD CITY ENGINEERS, INC.

PROJECT:	RICHMOND AFFORDABLE RICHMOND, CA
----------	----------------------------------

DATE:	04/27/22
-------	----------

SHEET TITLE:	PRELIMINARY SITE PHOTOMETRICS
--------------	-------------------------------

SHEET NO.	E100
-----------	------

Configured Specification Sheet

Project Name: _____ City: _____
 Year: _____ Catalog / Part Number: _____

Specifications

Material
 Housing: Polycarbonate
 Lens Material: Polycarbonate
 Surface Finish: Satin

Weight
 Housing: 1.0 lbs
 Lens: 0.5 lbs

Electrical and control
 Voltage: 120V AC
 Control: DALI
 Storage Temperature: -40°C to 70°C
 Operating Temperature: -20°C to 50°C
 Start up Temperature: 20°C to 50°C
 Ingress Protection Rating: IP65
 Environment: Indoor/Outdoor

Colors and Color Temperatures
 Color: White
 CCT: 2700K, 3000K, 3500K, 4000K, 5000K

Features
 Motion detector options
 Polk mounting adapter

Certifications
 CE, RoHS, ENEC

Configured Specification Sheet

Project Name: _____ City: _____
 Year: _____ Catalog / Part Number: _____

Specifications

Material
 Housing: Polycarbonate
 Lens Material: Polycarbonate
 Surface Finish: Satin

Weight
 Housing: 1.0 lbs
 Lens: 0.5 lbs

Electrical and control
 Voltage: 120V AC
 Control: DALI
 Storage Temperature: -40°C to 70°C
 Operating Temperature: -20°C to 50°C
 Start up Temperature: 20°C to 50°C
 Ingress Protection Rating: IP65
 Environment: Indoor/Outdoor

Colors and Color Temperatures
 Color: White
 CCT: 2700K, 3000K, 3500K, 4000K, 5000K

Features
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 Polk mounting adapter

Certifications
 CE, RoHS, ENEC

Configured Specification Sheet

Project Name: _____ City: _____
 Year: _____ Catalog / Part Number: _____

Specifications

Material
 Housing: Polycarbonate
 Lens Material: Polycarbonate
 Surface Finish: Satin

Weight
 Housing: 1.0 lbs
 Lens: 0.5 lbs

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 Voltage: 120V AC
 Control: DALI
 Storage Temperature: -40°C to 70°C
 Operating Temperature: -20°C to 50°C
 Start up Temperature: 20°C to 50°C
 Ingress Protection Rating: IP65
 Environment: Indoor/Outdoor

Colors and Color Temperatures
 Color: White
 CCT: 2700K, 3000K, 3500K, 4000K, 5000K

Features
 Motion detector options
 Polk mounting adapter

Certifications
 CE, RoHS, ENEC

BOULEVARD 03 180

Technical Data:
 Wattage / Input: 15W (120-277VAC)
 Power Supply: Integral
 Construction: Body: Anodized Aluminum
 CCT: 3000K, 4000K
 Delivered Lumens: 800 lm (1300K)
 Efficacy: 86.9 lm/W
 Optics: 180°
 Finish: Textured Gray, Anodized Gray, Matte Black
 Fixture Dimensions: 6.69" x 3.37" h
 LED Source: 6 Cree XHP50 mid-power LEDs
 IP Rating: IP65
 Impact Rating: IK10

Ordering Information:
 Example: 8690SP-38K-180-TG

Model No.	CCT	Optics	Finish
8690SP	38K - 3000K	180 - 180°	TG - Textured Gray
	48K - 4000K		AG - Anodized Gray
			MB - Matte Black

BOULEVARD 03 180

Photometric Data:
 Note all Photometry is 3000K
 Maximum Candela: 124.5
 Beam Angle: 180°

Ordering Information:
 Example: 8690SP-38K-180-TG

Model No.	CCT	Optics	Finish
8690SP	38K - 3000K	180 - 180°	TG - Textured Gray
	48K - 4000K		AG - Anodized Gray
			MB - Matte Black

Shielded LED bollard - asymmetric

Technical Data:
 Wattage / Input: 15W (120-277VAC)
 Power Supply: Integral
 Construction: Body: Anodized Aluminum
 CCT: 3000K, 4000K
 Delivered Lumens: 800 lm (1300K)
 Efficacy: 86.9 lm/W
 Optics: 180°
 Finish: Textured Gray, Anodized Gray, Matte Black
 Fixture Dimensions: 6.69" x 3.37" h
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Ordering Information:
 Example: 8690SP-38K-180-TG

Model No.	CCT	Optics	Finish
8690SP	38K - 3000K	180 - 180°	TG - Textured Gray
	48K - 4000K		AG - Anodized Gray
			MB - Matte Black

NO.	DATE	DESCRIPTION	REVISIONS

DRAWN: DFR
 DESIGNED: DFR
 CHECKED: ACF
 APPROVED:

EMERALD CITY ENGINEERS, INC.
 21705 Highway 99
 Lynnwood, WA 98036
 TEL: 425-761-1600

PROJECT:
 RICHMOND AFFORDABLE
 RICHMOND, CA

DATE:
 04/27/22

SHEET TITLE:
 SITE LIGHTING
 CUTSHEETS

SHEET NO.
 E102